

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

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THIS RESTRICTIVE COVENANT AGREEMENT made this 12 day of Feb, 2009.

BETWEEN:

THE CITY OF CALGARY, a Municipal Corporation in the Province of Alberta,

(the "Grantor")

- and -

THE CITY OF CALGARY, a Municipal Corporation in the Province of Alberta,

(the "Grantee")

THIS RESTRICTIVE COVENANT AGREEMENT WITNESSES THAT, in consideration of the sum of TEN (\$10.00) DOLLARS and other good and valuable consideration (the receipt and sufficiency of which is hereby acknowledged) and the provisions of this Agreement to be kept, observed and performed by the parties as herein provided, THE PARTIES AGREE AS FOLLOWS:

1. DEFINITIONS AND INTERPRETATION

1.01. In this Agreement the following words and phrases when capitalized shall have the following meanings:

- (a) "Agreement" means this restrictive covenant agreement, all attached schedules and any subsequent amendments hereto;
- (b) "Agreements of Purchase and Sale" means the agreements of purchase and sale pursuant to which the Grantor initially sold and transferred the Lands to the initial owners;
- (c) "Corporate Properties & Buildings" means The City of Calgary, Corporate Properties & Buildings, in its capacity as the developer of the Royal Vista Business Park;

- (d) "Design Review Committee" means Riddell Kurczaba Architecture Engineering Interior Design Ltd., in combination with the City of Calgary Corporate Properties & Buildings (the "City"), or such other firm or person as the City of Calgary may appoint from time to time;
- (e) "Development" means any services, site works, buildings, structures, landscaping, and improvements to be built upon the Lands;
- (f) "Dominant Lands" means the lands legally described in Schedule "A", attached hereto;
- (g) "Effective Date" means December 15, 2008;
- (h) "Guidelines" means the Royal Vista Business Park Architectural and Development Guidelines prepared by Riddell Kurczaba Architecture Engineering Interior Design Ltd., dated November 12, 2008 and adopted by the Grantor to establish the architectural site development and landscaping criteria for the Royal Vista Business Park a copy of which is attached hereto as Schedule "B";
- (i) "Government Authority" means any federal, provincial, municipal or other governmental body, agency, tribunal, or authority having jurisdiction and lawfully empowered to make or impose laws, by-laws, rules or regulations with respect to the Lands and the parties' obligations hereunder;
- (j) "Grantee" means The City of Calgary, and its assigns;
- (k) "Grantor" means The City of Calgary, and its assigns;
- (l) "Lands" means those lands legally described in Schedule "A" and Schedule "C" attached hereto;
- (m) "Owner(s) of the Dominant Lands" means a registered owner from time to time of any of the Dominant Lands;
- (n) "Owner(s) of the Servient Lands" means a registered owner from time to time of any of the Servient Lands;
- (o) "Restrictions" means the provisions, restrictions and stipulations contained in Section 2.01;
- (p) "Servient Lands" means the lands legally described in Schedule "C", attached hereto.

2. RESTRICTIVE COVENANT

2.01. The Grantor declares, establishes, imposes and annexes to the Servient Lands and the Grantee agrees to observe and to be bound by the following restrictions, stipulations and provisions for the benefit of the Dominant Lands, namely that no building, structure, improvement or landscaping shall be constructed, placed, altered, erected or permitted on any of the Servient Lands unless it conforms to and complies with the Guidelines, for a period of fifteen (15) years commencing on the Effective Date.

2.02. The Restrictions are in addition to any requirements of the applicable Government Authority in respect of the development and use of the Lands and nothing contained herein shall be construed as permitting or authorizing anything which is permitted, controlled or regulated by the applicable Government Authority.

2.03. Prior to commencing construction of a Development an Owner of the Servient Lands shall have an Architect or Engineer, registered to practice in Alberta, first submit to the Design Review Committee for its preliminary review and approval, site development plans, a phasing plan, if applicable, preliminary building plans, preliminary building elevations and such other documents, plans and information required by the Guidelines and as may reasonably be required by the Design Review Committee to allow the Design Review Committee to review and comment (the "Preliminary Review").

2.04. After receipt of the comments from the Design Review Committee arising from the Preliminary Review and at least twenty (20) business days prior to development permit application, an Owner of the Servient Lands shall have an Architect or Engineer, registered to practice in Alberta, submit to the Design Review Committee, for pre-development permit approval, all site plans with grading and storm retention areas identified, all building plans, building elevations, building sections, if required, signage details, true colour images of the materials and finishings, and a rendering of the materials, finishes and colours to be used in the Development and confirmation that all issues identified in the Preliminary Review have been satisfactorily addressed and such other documents, plans and information required by the Guidelines and as may

reasonably be required by the Design Review Committee (the "Pre-development Permit Approval Review"). Upon the Design Review Committee's approval of all documents in the Pre-development Permit Approval Review, the Owner of the Servient Lands shall submit the Design Review Committee's documentation from the Pre-development Permit Approval Review along with their development permit application to the proper approving authority at the City of Calgary.

2.05. After receipt of approval of the development permit application from the approving authority at the City of Calgary, the Owner of the Servient Lands shall submit one set of development permit documents stamped and approved by the approving authority, to the Design Review Committee for review (the "Post-development Permit Approval Review"). Upon the Design Review Committee's receipt of the approved development permit documents, the Design Review Committee shall review the approved development permit documents for conformance to the mandatory and encouraged criteria in the Guidelines. Upon confirmation by the Design Review Committee of satisfactory conformance to the mandatory and encouraged criteria in the Guidelines, the Owner of the Servient Lands shall submit the Design Review Committee's documentation from the Post-development Permit Approval Review documentation along with their building permit application to the proper approving authority at the City of Calgary.

2.06. The provisions of this Agreement are enforceable by any one or more of the Owners of the Dominant Lands. Any waiver by any Owner of the Dominant Lands from strict compliance with any provision of this Agreement shall not of itself constitute a waiver from strict compliance with any other provision of this Agreement nor an abrogation nor a waiver from strict compliance with the same provision in the future. Any waiver by any Owner of the Dominant Lands from strict compliance with any provision of this Agreement shall not of itself constitute a waiver from strict compliance with any provision of this Agreement by any other Owner of the Dominant Lands.

2.07. Nothing herein shall require the Grantor, the Grantee or the Design Review Committee to enforce the Restrictions contained in this Agreement or render

the Grantor, the Grantee or the Design Review Committee responsible or liable for the failure of any Owner of the Servient Lands to adhere to or comply with the Restrictions contained in this Agreement, it being the intention to attach to each of the Servient Lands and each Owner of the Servient Lands from time to time thereof, the obligation to comply with the Restrictions and to attach to each of the Dominant Lands and each Owner of the Dominant Lands from time to time thereof, the ability, but not the obligation, to enforce compliance with the Restrictions. No action shall lie against the Grantor, the Grantee or the Design Review Committee for any breach of any of the Restrictions unless the Grantor, the Grantee or the Design Review Committee is the registered Owner of the Servient Lands alleged and proven in a Court of competent jurisdiction to be in breach of the Restrictions and in such circumstance such action shall only lie against the party who is the registered Owner of the Servient Lands. This provision shall constitute an absolute defence to any such action and may be pleaded as such.

2.08. If any one of the Restrictions herein or the application thereof to any party or any circumstances shall be held by any Court of competent jurisdiction to be invalid or unenforceable to any extent, then such Restriction shall be severed from the remainder of this Agreement and the remainder of this Agreement and the application of the Restrictions to a party or circumstance other than those to which they are held invalid or unenforceable shall not be affected and the remainder of this Agreement and the Restrictions shall be valid and enforceable to the fullest extent permitted by the law.

3. GENERAL PROVISIONS

3.01. This Agreement shall be governed by and interpreted in accordance with the laws of the Province of Alberta.

3.02. The Grantor and the Grantee acknowledge and agree that the Restrictions are intended to constitute a restrictive covenant which binds the Grantor and its transferees, assigns and successors in title from time to time by virtue of their ownership of the Servient Lands, which are annexed to, run with and are appurtenant to the Servient Lands, as the servient tenement, which enure to the Grantee and its

transferees, assigns and successors in title from time to time by virtue of their ownership of the Dominant Lands and which benefit, enhance, accommodate, are annexed to, run with and are appurtenant to the Dominant Lands, as the dominant tenement.

3.03. In the event of a conflict between this Agreement and the Guidelines, this Agreement shall prevail to the extent of the conflict.

IN WITNESS WHEREOF the parties hereto have duly executed this Agreement as of the date first above written.

APPROVED	
As to Content Corp. Prop & Buildings	
As to Form Solicitor	

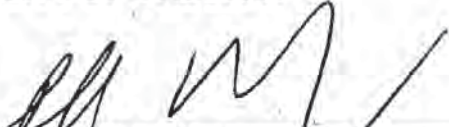
THE CITY OF CALGARY

Per: 
ACTING Manager, Land Division

Per: 
City Clerk (seal)

FEB 12 2009

THE CITY OF CALGARY

Per: 
ACTING Manager, Land Division

Per: 
City Clerk (seal)

FEB 12 2009

SCHEDULE "A"

DOMINANT LANDS

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BLOCK 1
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EXCEPTING THEREOUT ALL MINES AND MINERALS

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SCHEDULE "B"

GUIDELINES

Attached

SCHEDULE "C"

SERVIENT LANDS

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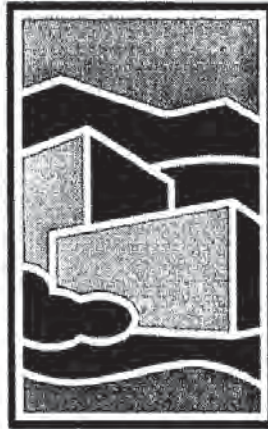
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ROYAL VISTA

BUSINESS PARK

The following Architectural and Development Guidelines document
has been prepared for the use of:



The City of Calgary
Corporate Properties & Buildings
for
The Royal Vista Business Park Development

by:

riddell kurczaba
architecture engineering interior design ltd.



L.A. West

L.A. West
Landscape • Architecture • Design • Construction

Original Issue: November 12, 2008

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INTRODUCTION AND INTENT

Note 1:

For the benefit of all proponents reviewing the requirements of these Royal Vista Business Park Architectural and Development Guidelines, the typeface of those aspects of most importance have been **bolded**.

The City of Calgary, Corporate Properties & Buildings, has established these Architectural and Development Guidelines for Royal Vista Business Park to create an improved and considered development environment which will provide long-term benefits to owners of Royal Vista Business Park and its inherent community.

The Royal Vista Business Park Architectural and Development Design Guidelines were created with the specific intent to:

- Enhance and maintain the quality of the architectural and site design of Royal Vista Business Park.
- Define aesthetic guidelines to be incorporated by site owners and/or design professionals in the planning of each property within Royal Vista Business Park.
- Link quality of development to increased property value, quality of life, and enhanced competitiveness.
- Protect owners, lessees and/or tenants of buildings within Royal Vista Business Park against improper and/or undesirable use of other building sites within the development boundary, and to foster the implementation of high quality improvements for all building sites.

The Royal Vista Business Park Architectural and Development Design Guidelines and their implementation will ensure that Development Review decisions:

- are predictable, fair and cost-justified.
- do not give an explicit competitive advantage to some types of businesses over others.
- supplement the applicable Land Use Bylaw standards and requirements.

The general objective is to encourage development that represents good urban design and planning, with attention to overall site development and landscaping, building and site safety, (external storage of goods and materials on the DC 57Z2007 (Site 2) Land-Use District), and a 'diverse consistency' based upon common architectural and design principles.

The Royal Vista Business Park Architectural and Development Guidelines consist of two types of criteria: **mandatory** and **non-mandatory**. The **mandatory criteria are identified by "shall", "will", and "are required"**, while the **non-mandatory criteria are identified by words such as "encouraged", "preferably", "desirable", or "should."** Although these latter criteria are not mandatory, the Design Review Committee will seek creative and cost-sensitive means to gain compliance with non-mandatory criteria at the time of the design reviews.

0.0 RESTRICTIVE COVENANT

- 1) The City of Calgary, Corporate Properties & Buildings, (hereinafter the "Vendor") is registered as owner of an estate in fee simple of the following lands described in Appendix "A" attached hereto. **It should be noted that Corporate Properties & Buildings is acting solely as the land developer of the Royal Vista Business Park and in no capacity as Municipal Approving Authority.**



- 2) The *Vendor* is developing a planned Industrial business development described as Royal Vista Business Park (**hereinafter "RVBP"**) and **has determined to register a restrictive covenant against all of the Lots within RVBP** for the purpose of establishing and maintaining the general character of RVBP and the site-specific development of each Lot within the RVBP.
- 3) It is the intention of the *Vendor* to **control development of the RVBP by means of the conditions and restrictions of the Architectural and Development Guidelines and to set these forth as the covenants registered against title of each Lot.** These *covenants* are intended to be common to all of the Lots developed to enhance and protect the value, market desirability, and aesthetic attractiveness of all of the Lots to their mutual benefit.
- 4) Section 48(1) of the *Land Titles Act* (Alberta) makes provision for an owner to grant to itself a restrictive covenant for the benefit of land which it owns and against land which it owns, and the restrictive covenant may be registered under the *Land Titles Act*.



1.0 REVIEW PROCESS

- 1.0.1 **The Design Guidelines apply to building and site design of developments in the DC 57Z2007 (Site 2) and 1P2007 I-B land use districts of RVBP. These Design Guidelines are to be adhered to by all owners, tenants, developers, builders, and design consultants hereinafter referred to as "Proponents" of any development in the RVBP. No improvement shall be constructed, placed, altered, erected, maintained or permitted on any building site unless it complies with these Architectural and Development Guidelines (as registered on title as Protective Covenants), and all applicable requirements of Authorities Having Jurisdiction, and only if and when it has been approved by the Design Review Committee.**

Note:

It is strongly advised that any *Proponent* for site development also provide a copy of these Design Guidelines to its general contractor prior to any constructed improvement to land which it owns. If any requirements of these guidelines is at variance with the governing 1P2007 I-B or DC 57Z2007 (Site 2) Bylaws, the more restrictive of such requirements shall apply.

- 1.0.2 The Vendor has established a **Design Review Committee** (hereinafter referred to as the "**DRC**"), in the Declaration of Protective Covenants registered on title as the Royal Vista Business Park Architectural and Development Guidelines (hereinafter referred to as "**the Guidelines**") for the **RVBP**. **The DRC will monitor adherence to these Guidelines by Proponents by reviewing and approving documentation required for development within the RVBP as stipulated within the Guidelines. The intent of the reviews is to ensure and enforce the Guidelines' requirements - both explicit and implied. Interpretation of these Guidelines will be at the discretion of the DRC with the fundamental intent of upholding both the specific and the broad intents of the Guidelines.**
- 1.0.3 **Access to these Guidelines shall be available on line at the Vendor's website to any proponent seeking approval for a development within the RVBP.**
- 1.0.4 **Signed submission approval is required prior to any Proponent making application to the City for a Development Permit, and prior to the undertaking of any site improvements. Site improvements include, but are not limited to, construction or installation, clearing, grading, paving, landscaping, structures, building additions or alterations, or signage.**
- 1.0.5 The Vendor has assigned the **reviewing co-authority** to the offices of **Riddell Kurczaba Architecture Engineering Interior Design Ltd.** who are collectively, and as internally directed and supplemented from time to time, in conjunction **with the Vendor** to be construed as the **DRC**.
The **DRC** - represented either singly or in combination by *Corporate Properties and Buildings (hereinafter the "Vendor") and/or Riddell Kurczaba Architecture (hereinafter "RKA")* - reserves the right to revise, vary, or amend the *Guidelines* for the **RVBP** at the mutually agreed upon discretion of both approving parties. It is, however, the intent of the *Vendor* to maintain the applicability and validity of the *Guidelines* for the duration of the land sales, and, principally, to reserve the right to alter the *Guidelines* if market indicators warrant the alteration.



Any notice, request or communication shall be **in writing** and delivered to the *DRC* at the following addresses:

**CFB West, Bldg. A1
2530 Hochwald Avenue S.W.
Calgary, Alberta T3E 7H5**

or, by **facsimile at 266-2170.**

The **principal contact is Mr. Tim Fossey**, who may be reached at the **RKA offices at 266-2100, or by e-mail: timf@riddell.ca.**

OR,

**Trans Alta Two, 110 -12th Avenue S.W.
2nd Floor,
P.O. Box 2100, Stn M, #195
Calgary, Alberta T2P 2M5**

or, by **facsimile at 537-3099**

The **principal contact is Mr. Scott Pickles**, who may be reached at the **Land Servicing and Housing offices at 268-1462, or by e-mail: scott.pickles@calgary.ca**

- 1.0.6 Each required application must be submitted in legible **11" x 17" format** for architectural drawings, and supporting documentation . The last submission prior to DP submission must be in **portable document format (pdf)**.
- 1.0.7 Each **initially submitted set must be accompanied by a letter of authorization**, or an authorized signature of the legal owner or occupant of the lot or site, or both, or the authorized agent thereof.
- 1.0.8 After the required review process and upon receipt of the 'ready for D.P.' application set of documentation to the DRC, **written approval from the Vendor is required prior** to application to and coordination with the Municipal Approving Authority.
- 1.0.9 **Review and approval will be based upon requirements as stipulated within these Guidelines. Submissions will be assessed not only for the quality of the specific proposal, but also for the development's effect and impact upon its neighbors and surroundings.** Concern for spatial relationships between buildings and other adjacent elements, and careful consideration of location and treatment of utility and service facilities will be given. Site ingress and egress may be limited in the interests of efficient traffic flow on abutting streets.

Pre-Design Meeting

- 1.0.10 **In order to simplify and expedite the design and approval process, the DRC requests a pre-design meeting with all proponents in order to provide an overview of the requirements and the process prior to the initial design of a development.** This meeting should clarify any questions, comments, or concerns a proponent may have. **It is the Proponent's responsibility to make a request in writing to set up a pre-design meeting.** The *DRC* will be available on a limited basis for further discussion with proponents who have questions on



matters regarding interpretation of the *Guidelines* for development within the *RVBP*.

Preliminary Submission Review(s)

1.0.11 For the Preliminary Submission Review, the following material shall be prepared and submitted by a registered Architect or Engineer licenced to practise in the Province of Alberta:

- All correspondence and all documentation shall reference the **correct legal description (lot, block, and plan) and municipal address**. Incorrect data will impede the ability of the DRC to review the proponent submission within the expected timeline.
- **Site Development Plans**, including identification and location of all components existing and proposed pertinent to the development – i.e. building(s), parking areas, access and egress points, existing features (hydrants, power poles, light standards, boulevard trees), service and storage areas, rights-of-way, required yard setbacks, garbage enclosure location, **a key plan locating the lot(s) in the context of adjacent lots and streets**, a landscaping plan and legend, signage, lighting, and all relevant project data with respect to these *Guidelines* and land use district bylaw requirements. Preliminary grading plans are also strongly encouraged, and clear indication of the elements and nature of the amenity space required for each site must be evident (**See 10.0.9 Amenity Space**).
- If the development is phased, then the extent of phasing and the requirements for the development proposed for each phase must be clearly identified. Required parking and planting ratio requirements must be met for each phase in such a staged development. **A Phasing Plan will be required for phased development which must be reviewed and approved before preliminary submission drawings are reviewed**
- **Preliminary Building Plans** identifying outline and design intent and extent.
- **Preliminary Building Elevations** identifying proposed design intent with exterior materials, and building heights.

Upon receipt of an application **with all documentation included and complete, ten (10) working days shall be allowed for DRC review.**

Pre-DP Application Submission Review

1.0.12 For the pre-DP Application Submission Review, the following shall be prepared and submitted by a registered Architect or Engineer licenced to practise in the Province of Alberta:

- All outstanding issues identified in the Preliminary Review(s) shall be satisfactorily addressed and the submission shall be of a quality and completeness equal to that required by the Municipal Authorities for submitting an application for a Development Permit, **and in fact should be the proposed DP Application set of documents**. The Architectural drawings will be sufficient to completely convey the full design intent of



the project. The submission set for this review shall identify the following:

- **Site Plan(s)** showing all of the requirements listed for the Preliminary Review Site Plan, as well as, but not limited to, grading and storm retention areas; curb, bollard, and wheel-stop details; amenity space details; site lighting; berming (if required) and planting details; a detailed plant list, quantity, and sizing of plant materials; garbage enclosure details; fencing details; transformer location and screening; location of Municipal Address signage, and any trees requiring line assignments within City boulevards.
- **Building Plan(s)** identifying overall dimensions, principal entrance, windows and doors; roof plans with, if applicable, roof-top equipment; and, if applicable, parkade plans.
- **Building Elevations** identifying all exterior materials, finishes and fenestration, colours, building heights, screening of mechanical equipment, finished grades, and building-mounted lighting etc..
- Building sections shall only be required if site grade conditions dictate building sections of a complexity without which a proper understanding of the project intent would not be possible.
- A rendering which accurately conveys the massing, materials, finishes, colours, and context, and which aids in a more complete understanding of the project would be helpful and will be encouraged.
- **A true colour image/photo of a material and finish sample board** with exterior building finishes (**An actual sample board** will not be accepted).
- An indication of **proposed signage details** as required by these *Guidelines* and as required by the Signage Part 3, Division 5 requirements of the 1P2007 Land Use Bylaw (and the rules of the 2P80 Land Use Bylaw Appendix - Signs Regulations for the DC parcels) are to be included as part of the pre-Development Permit application set.

Any additional information which the proponent may deem helpful in demonstrating compliance with the *Guidelines*.

This final documentation submission (11 x 17 pdf's) shall be submitted to the DRC at least 20 working days prior to required DP submission date to the City, and, 10 working days, from the time of receipt of a complete submission package, shall be allowed for the DRC final review comments to be returned to the proponent. If approval is not granted, the same provisions as contained herein shall again apply, and the proponent will revise the documentation and make the modifications or changes required for granting of written approval. Upon approval by the DRC, **a copy of such approval shall be submitted with the proponent's D.P. Application to the City.**



DP Approval & DRC Review

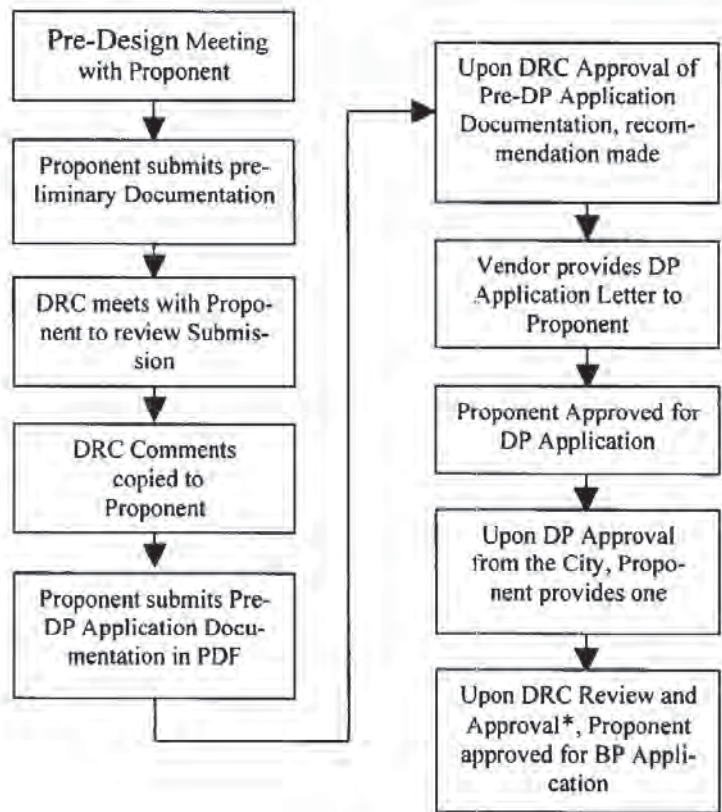
1.0.13 **Upon Approval of the DP Application from the Municipal Authority,** the proponent shall advise the DRC and provide one of two returned DP Approval copies to the DRC for review. With confirmation by the DRC of compliance with Guidelines intent, **the proponent shall include this latter approval with the proponent's Building Permit application.** The DP approval set will be returned to the proponent.

Construction Documentation

1.0.14 Construction Documentation shall conform to the approved Development Permit drawings.

CHART 1 

**ROYAL VISTA BUSINESS PARK GUIDELINES
DESIGN REVIEW PROCESS**



*Stamped set will be returned to Proponent



Interpretation and Waiver

- 1.0.15 The *DRC*'s interest in reviewing submissions as stipulated herein is to ensure that compatible development of a quality described within the *Guidelines* is consistently achieved. When questions of judgement or interpretation arise, the decision of the *DRC* is final. Any issue not addressed specifically by the *Guidelines*, will be resolved by the *DRC* on an individual case basis.

In order to best resolve certain unforeseen circumstances, it may be preferable on occasion for the *DRC* to allow variances of specific requirements. Any such variance granted is so granted mindful of the collective benefit within the overall development of the *RVBP*, and is not to be construed as precedent setting. Any such variance or waiver by the *DRC* shall not be construed as a waiver in favour of any other development on any other lot, nor a waiver of any other restrictions or conditions contained within the *Guidelines*.

DRC and Vendor not Liable for Approval

- 1.0.16 The *DRC* (either *RKA* and/or the *Vendor*) shall not be liable for any loss, expense, damage, action, claim or proceeding suffered, incurred or brought against any person on account of:

- the approval or non-acceptance of any plans, drawings and documentation, whether or not in any way defective;
- the development of any lot within the *RVBP*, or
- the construction of any improvement, or performance of any work, whether or not pursuant to approved plans, drawings and documentation.

Any approval given by the *DRC* shall not evidence or confirm compliance with or approval of any Bylaws, codes, laws, or requirements of any Authority Having Jurisdiction or of any plans, drawings, and documentation submitted to the *DRC*.

Prior to development, each Proponent, Lessee and/or Tenant must ensure compliance with current applicable bylaws, codes, or laws, and is responsible for acquiring such required approvals from said Authorities Having Jurisdiction. Any requirements of these *Guidelines* at variance from requirements set forth by regulatory agencies, shall apply if they are the more restrictive.

No Action Against DRC

- 1.0.17 No action shall lie against the *DRC* for damages for breach of any one or more of the requirements of these *Guidelines* or of the covenants contained within these *Guidelines*, and this shall constitute an absolute defence to any such action and may be pleaded as such.



2.0 LAND-USE CONCEPT AND DEVELOPMENT STRATEGY

- 2.0.1 As represented by **Map 1**, the overall concept for development involves all lots designated I-B or DC 5722007 (Site 2) within the shown boundary.

The development strategies for sites within the subject area are affected by the land use, proximity to natural and buffer areas, storm retention areas, major roads, pedestrian pathways, and specific access restrictions.

- 2.0.2 **These *Guidelines* apply specifically to the Royal Vista Business Park development, with the intention to make them applicable to all of the built-out developable land. However, the *Vendor*, in its sole discretion, reserves the right to have the *Design Guidelines* modified for any reason deemed necessary by the *Vendor*.**

- 2.0.3 The City of Calgary has developed capital expenditure programs for the subject area and considers the area suitable for the permitted and discretionary uses of the 1P2007 I-B (and DC 5722007 (Site 2) - hereinafter "**DC District**") Land Use districts with the provision of municipal water and sewage systems, power, communication, lighting, and gas servicing, roads, and an underground storm water system with surface drainage containment.

- 2.0.4 All new construction, any additions visible to the public, all major exterior alterations such as renovation of building façade, re-painting of buildings, changes in the roof line or parapet, changes in visible roofing material, new landscaping, wholesale renovation of parking areas, new loading areas, and new mechanical equipment areas shall comply with the applicable design criteria stipulated within these *Guidelines*. (For partial modifications to buildings and sites, the *Guidelines* apply to those subject areas only).

Minor changes to the exterior of buildings such as door or window additions, temporary construction buildings, and modifications to existing landscaped areas or parking lots, where no additional area is added, are typically exempt from the requirements of the *Guidelines*.



#1



- LEGEND:**
- PROPOSED BUS STOP
 - STORMWATER RETENTION NATURAL AREA
 - DC 57Z 2007 (SITE 2) - LAND USE DISTRICT
 - I-B - LAND USE DISTRICT
 - LOT No. & BLOCK No.
 - ▬ REGIONAL PATHWAY
 - ▬ PLACE OF WORSHIP
 - ⚠ MUTUAL ACCESS - LOCATION PREFERRED
 - ⚠ PREFERRED ACCESS
 - ⚠ POSSIBLE ACCESS
 - ▬ SECURITY FENCE PERMITTED DC 57Z 2007 (SITE 2)
 - ▬ SIDEWALK SYSTEM
 - ▬ RV BP GUIDELINE BOUNDARY



3.0 DEVELOPMENT PERMIT REQUIREMENTS

- 3.0.1 Before a Building Permit may be obtained, a Development Permit must first be applied for and issued by the City of Calgary, who may set forth conditions under which development may take place that may be in addition to normal land-use district requirements and the Vendor's Statutory Architectural and Development Design Guidelines registered as a charge against title to the lands pursuant to Section 48(1) of the *Land Title Act* (Alberta). **It is required that these Design Guidelines be reviewed in detail to ascertain compliance for any proposed development within the Royal Vista Business Park. (See 1.0 Review Process above for submission and compliance requirements).**
- 3.0.2 **It is the intention of the Vendor that the *Guidelines* complement the current I-B and DC District Bylaws, but when an apparent conflict or discrepancy exists between the *Guidelines* and the applicable Land Use Bylaws, in all cases, *the more restrictive shall be deemed to govern.***



4.0 SPECIAL ZONES AND SUSTAINABILITY

- 4.0.1 Those portions of lands affected by designations "Gateway", "Intersection", "Improvement", or "Buffer" on **Map 2** shall be developed by the Proponent with the additional requirements of the respective special zones. These areas create visual identification, unification, thematic consistency, acoustical separation etc. and shall be developed as follows:
- 4.0.2 **Appropriate landscaping within the rear yard setback** will form a common and enforced strategy for visually, acoustically, and aesthetically **mitigating the impact of each DC District development upon the I-B development.** (See **6.0 Sub-policy Zones—Buffer Zone E, and 10.0 Landscaping.**)
- 4.0.3 At the limited locations **where berms are required**, they shall be contoured at a recommended 3:1 slope typically to create undulation of contour and **shall be landscaped with prairie grasses/shrubs/trees** to form an aesthetically pleasing entry element. (See **10.0 Landscaping.**)
- 4.0.4 **Uses adjacent to 112th Avenue or Royal Vista Drive (as indicated on Map 2), will be required to** carefully consider siting of building and parking, landscape design, and the two-way impact of the development upon the street realm.
- 4.0.5 All side yard setbacks provided within the I-B Land Use district of *RVBP* shall be landscaped. Side yard setbacks provided within the DC District shall be landscaped.
- 4.0.6 **Parking areas are to be landscaped** and shall be typically **located in the side or rear of the property.** **Where permitted, parking allowed in the front of a property should typically not occupy more than 50% of the frontage of a property.** Exceptions for sites with multiple frontages may be made. (See **6.02 Improvement Zone A, and 8.0 Setbacks**)
- 4.0.7 **Map 2 - Sub-Policy Zones affecting private land** - on the following page identifies conceptual improvement zones within the developable land boundaries which are intended to help create the framework for the architectural and development guidelines of *RVBP*. These improvement zones endeavor to address interface sensitivities, pedestrian environment, native species landscape criteria, screening, water conservation, frontage and exposure, view opportunities, intersection differentiation, and building relationships. These zones will be instrumental in defining the parameters which will characterize the environment of *RVBP* and establish its position both in the marketplace, and in the overall fabric of the City.
- 4.0.8 **Additionally, the concepts of "Sustainable Building" design shall be encouraged.**

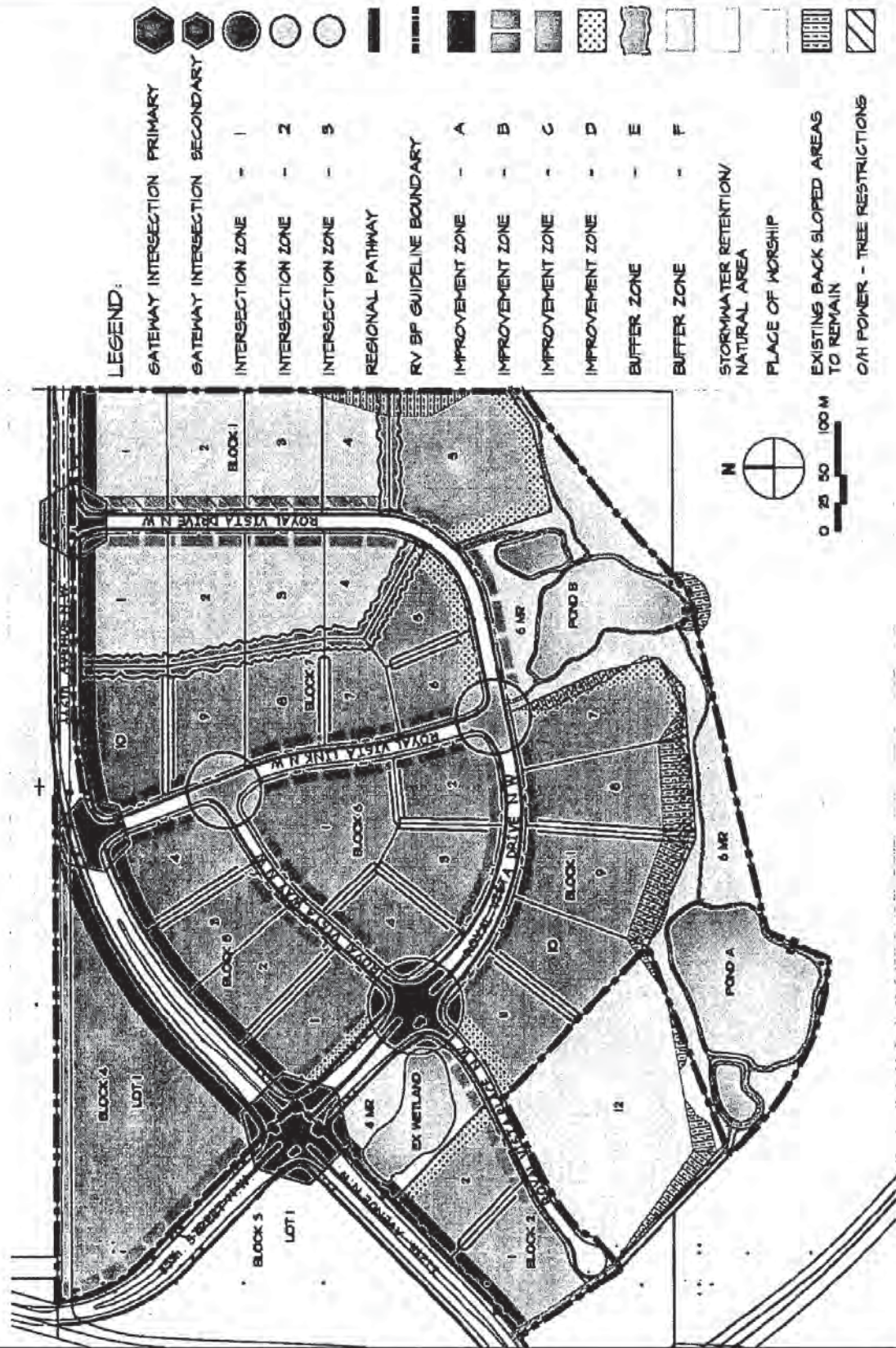
With the advent and formalization of Sustainable Design principals – embodied most clearly in the LEED® assessment criteria currently – a paradigm shift is happening despite long-established methodology and practices within our culture which resist that shift. Its broader intentions will eventually be embraced by the development industry, but, in the interim, any steps in that direction are to be encouraged.



The *DAC*, therefore, encourages proponents to pursue best practice development options – that support sustainable goals and objectives – by referring to the *Option List provided*.

(Refer to Appendix B to see the option list for the review process.)





5.0 STORMWATER RETENTION/NATURAL AREAS

Predominantly native species Wetlands areas are identified on the Map 1 Concept Plan and on the Map 2 Improvement Zones. These natural areas are functionally intended to serve the entire Royal Vista Business Park as storm water retention areas, but, as importantly, are designed to serve the *RVBP* as amenity areas and should also integrate other Municipal recreational uses. The regional pathway system will skirt the Royal Vista Business Park to the south, and it is desirable to connect to that route via the *RVBP*'s internal sidewalk system (see Map 1), thereby enhancing public utilization of these major on-site amenity spaces.

(The existing natural area to the north west of the *RVBP* also affords a desirable off-site destination for *RVBP* users to avail of, and internal pedestrian sidewalk systems shall provide connectivity on-site to this opportunity).

Because of the unique and beneficial nature of the Wetlands areas of Royal Vista Business Park, those lots contiguous with or having a view of these features unimpeded by another lot shall be required to abide by additional development criteria. (See 6.0.5, Improvement Zone D - Stormwater Retention/Natural Area.)



6.0 SUB-POLICY ZONES AFFECTING PRIVATE LAND

6.0.1 Referencing Map 2, note that several sub-policy zones have been identified as warranting individual modifications to the overall *Guidelines* on private land within those zones for several reasons:

Streets and Lot Exposure

- Hierarchical public thoroughfares warrant distinct and differentiating *setback, landscaping, and identification elements* from both a way-finding and an aesthetic perspective. (See 6.02, 6.03, 6.04 Improvement zones A, B, C, I).
- Introduction of order which reflects the impact of road width, traffic volume, and lot value depending upon frontage exposure within or without the RVBP, must be expressed by the *defining elements* of the sub-policy zones. (See See 6.02, 6.03, 6.04 Improvement zones A, B, C, I).

Storm Retention/Natural Area Lots

- Lots contiguous with the Wetlands require greater sensitivity to operational impact upon these natural areas, to the public view of the rear of the property, and to the amenity opportunities afforded by the location. (See 6.05 Improvement zone D).
- Lots with unimpaired view opportunities of the Wetlands must acknowledge and address this circumstance through formal and improved architectural expression visible from the public realm. (See 6.05 Improvement zone D).

Interface Zones

- Land Use district interface (between I-B and I-2) requires a landscape buffer on the contiguous boundaries of these two districts. (See 10.0 Landscaping, and 6.06 Buffer zone E).
- All lots with such interface identified on Map 2 shall have native grasses planted in the locations shown. (See 10.0 Landscaping, and 6.06 Buffer zone F).

Intersections

- *Gateway access points* into the RVBP warrant orientation in relation to the concept of 'within vs. without'. These locations need to be addressed from the perspective of egress as well. (See 6.08 Intersections zones, Gateway Primary and Secondary).
- Street intersections warrant differentiation in terms of importance and way-finding by having distinguishing identification elements that provide local positioning cues within the RVBP. (See 6.08 Intersection zones ,Primary and Secondary).

Existing Slopes

- Those lots with existing back-slopes and vegetation must retain both the existing sloped terrain and the landscaping.



6.0.2 Improvement Zone A
(112th Avenue within the 1P2007 IB Land Use District)

As a divided major road, 112th Avenue is designed to direct the flow of large traffic volumes. Consequently, the negative impacts of this traffic – noise, vibration, exhaust odor and particulate, and congestion – but also the positive impacts – exposure and profile – upon those lots with frontage on this roadway will have more consequence.

All lots with a frontage contiguous with 112th Avenue shall on that frontage:

- **Have a MIN./MAX. front yard setback of 25' (7.5 m), OR**
- **If right-in/right-out access from 112th Ave. is required/ preferred, provide a front yard setback of 20' (6.0m) with a standard City of Calgary 90 degree parking module depth between the front yard and the building.**
- **Have mound berming at the Gateway locations of the front yard setback identified in Map 2 as Gateway Intersections – excluding any requirements for utility right of way(s).**
- **Be landscaped at a ratio of 1 tree / 35 sq. m. within the said yard setback.**
- **Include the following tree requirements for lots: *Native species* planted in groupings within 10' (3 m) of the frontage property line. . (see 10.0 Landscaping)**
- **Have freestanding signage as per 12.0 Signage.**

6.0.3 Improvement Zone B
(All front yards/setbacks not otherwise defined by these sub-policy zones)

All lots with a frontage as described shall on that frontage:

- **Have a front yard setback of 20' (6.0 m).**
- **Have cluster tree and shrub planting over the front yard setback** excluding any requirements for utility right of way(s).
- **Be landscaped at a ratio of 1 tree / 35 sq. m. within the said yard setback.**
- **Include the following tree requirements for lots: *Native species* planted in groupings within the front yard setback . (see 10.0 Landscaping).**
- **Have freestanding signage as per 12.0 Signage.**

6.0.4 Improvement Zone C
(Royal Vista Drive between Royal Vista Way/Place NW and Royal Vista Link NW)

All lots with a frontage contiguous with Royal Vista Drive as described shall on that frontage:

- **Have a MIN/MAX front yard setback of 20' (6.0 m).**
- **Have cluster tree and shrub planting over the front yard setback** excluding any requirements for utility right of way(s).
- **Be landscaped at a ratio of 1 tree / 35 sq. m. within the**



said yard setback.

- Include the following tree requirements for lots: **Native species** planted in groupings within the front yard setback . **(see 10.0 Landscaping).**
- Have freestanding signage as per *12.0 Signage*

6.0.5 Improvement Zone D

(all lots backing, fronting or contiguous with the Storm water Retention/ Natural Areas. **These lots must retain existing vegetation**)

All lots with a shared property line with (or unimpeded by an adjacent lot to) the open space shall on that property line:

- Have a minimum yard setback of 20' (6.0 m), and **all development along the open space will require integration of the naturalized area along the shared boundary with the open space.**

All lots with a shared property line with open areas shall on that property line:

- Minimally, have a 1.2m black vinyl coated chain link fence on the shared property lines with open space. "Upgraded" fencing (ie. three rail white vinyl) is desirable, but "lesser" grade fences (wood, lattice, etc.) are not permitted.
- Include the following tree requirements for lots: **Native species** planted in groupings within the front yard setback . **(see 10.0 Landscaping).**

6.0.6 Buffer Zone E

(all I-B and DC District lots backing, or contiguous with each other)

All DC District lots that share a property line with I-B lot(s) shall on that property line:

- Have cluster tree and shrub planting over the yard setback.
- Have a yard setback of 10' (3.0 m) and be landscaped at a **ratio of 1 tree / 25 sq. m. within the said yard setback, OR,**
- Have a yard setback of 8' (2.5 m) and be landscaped at a **ratio of 1 tree / 15 sq. m. within the said yard setback**
- Include the following tree requirements for lots: **Native species** planted in groupings within the yard setback . **(see 10.0 Landscaping).**

All I-B lots that share a property line with DC District lot(s) shall on that property line:

- Have cluster tree and shrub planting over the yard setback.
- Have a yard setback of 8' (2.5 m) and be landscaped at a **ratio of 1 tree / 35 sq. m. within the said yard setback,**
- Include the following tree requirements for lots: **Native species** planted in groupings within the yard setback . **(see 10.0 Landscaping).**

6.0.7 Buffer Zone F

(all I-B and DC District lots as identified on Map 2)



All DC District and I-B lots as identified on Map 2 shall on that property line:

- **Have native grasses species planted exclusively for a 8' (2.5m) width for the extent shown for this yard landscaping requirement .**
- **Where such a yard is landscaped with native prairie grasses, the contiguous yard of the contiguous parcel must also be landscaped with native prairie grasses.**
- **Include the following landscaping requirements for specified lots: *Native Grasses species* planted exclusively within and to the extent of the area described for said yard setback on Map 2 . (see **10.0 Landscaping**).**

6.08 Intersection Zones

(Gateway lots - Primary)

(affecting all corner lots at locations described on Map 2);

- NW and NE corners at intersection of 85th St/Royal Vista Drive and 112th Ave.

(Gateway lots - Secondary)

- NW, SW and SE corners at intersection of 112th Avenue NW with Royal Vista Link.
- SW and SE corners at intersection of 112th Avenue NW and Royal Vista Drive NW.
- **All lots as described by the above shall provide Swedish columnar aspens within the front setback area to help define gateway elements. (see **10.0 Landscaping**.)**

(Primary Intersection)

- The corner lots at intersection of Royal Vista Drive NW and Royal Vista Way/Place NW.
- **All lots as described by the above shall provide Swedish columnar aspens within the front setback area to help define intersection zones. (see **10.0 Landscaping and 12.0 Signage**.)**

(Secondary Intersections)

(The corner lots at the intersections of a) Royal Vista Link NW and Royal Vista Drive NW and also b) Royal Vista Link NW and Royal Vista Way NW

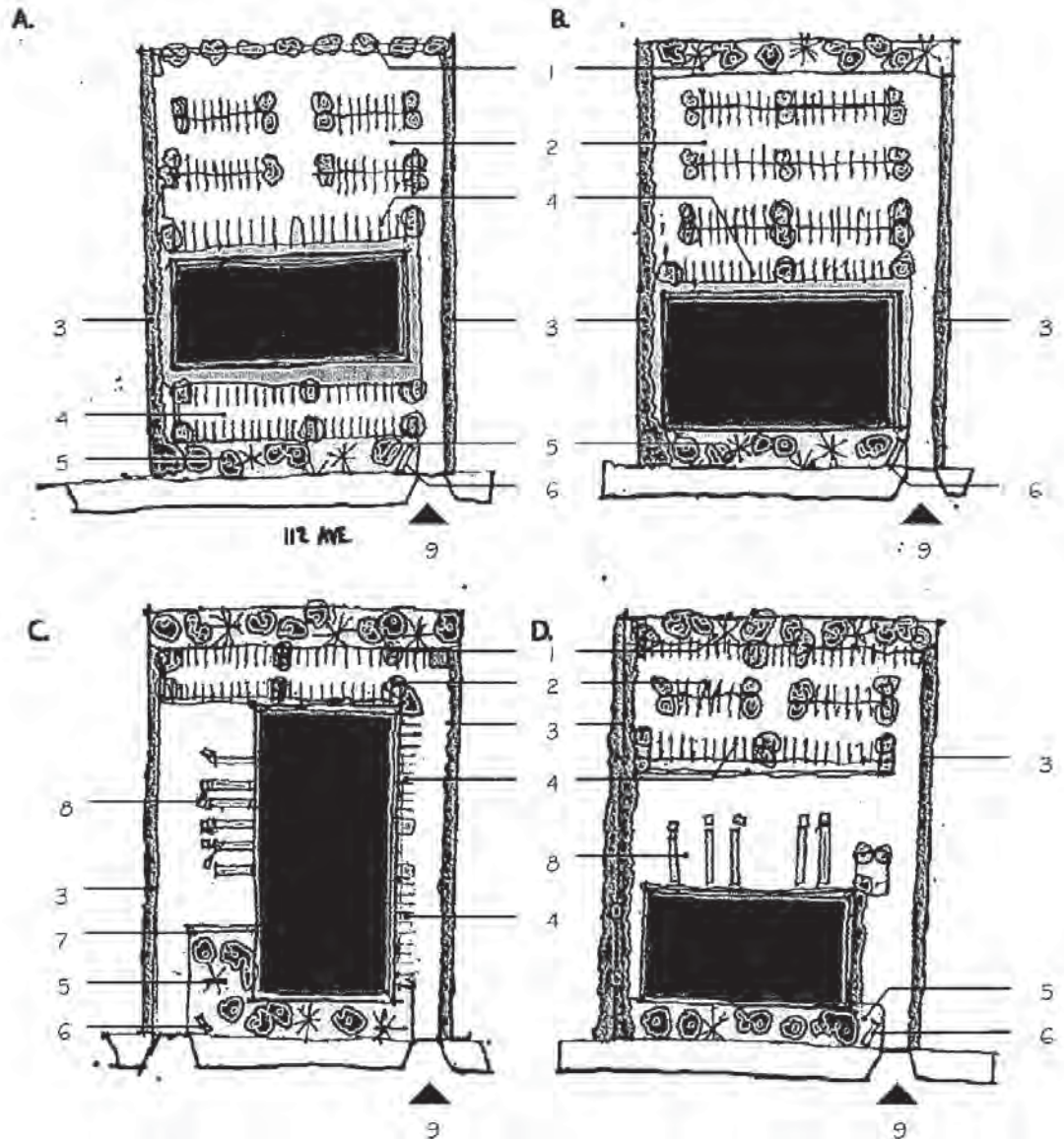
- **Accommodate *Vendor* requirement for intersection elements within the defined area (see **10.0 Landscaping and 12.0 Signage**.)**



7.0 SITE DESIGN

7.0.1 New development shall in all ways enhance the character of its surrounding area through quality architecture, enhanced landscaping, and appropriate and considered site configuration. Furthermore, a "thread of continuity" must exist throughout the RVBP in order for any sense of community or of controlled development to be perceived or evident. See Fig. 1.

FIG. 1



- 1. LANDSCAPE REAR YARD
- 3. LANDSCAPE SIDE YARD
- 5. LANDSCAPE FRONT YARD
- 7. DOCK SCREENING
- 9. LOT VEHICULE ACCESS

- 2. STAFF PARKING LOCATED TO BACK OF LOT
- 4. VISITOR PARKING NEAR PRINCIPAL ENTRANCE
- 6. ENTRANCE AND ADDRESS SIGNAGE
- 8. YARD SERVICE AREA



- a. **The various site components** – buildings, parking areas and driveways, landscaping, (and outdoor storage functions within the DC District) – **shall be configured to emphasize the positive aspects** while minimizing the less pleasing aspects of the development. **Orient buildings so that building entrances, offices areas, and pedestrian-scaled amenities are situated on the publicly visible sides of the site.**
- b. **All service areas** – vehicular activity yards, garbage enclosures, (outside storage in the DC District parcels), loading areas, at-grade or roof-top mechanical equipment – **shall be located so as to be visually screened from public thoroughfares**, and, where the screening is man-made, shall be integrated with the pervading building character – preferably constructed of the same materials employed on the principal building(s).
- c. Where reasonable, **customer and staff vehicular access shall be separated from truck/loading access.**
- d. All site developments shall make private provision for specifically designed **outdoor amenity spaces connected by a walkway system to the on-site principal building(s).**
- e. **Perimeter landscaping in every development shall transition or integrate with the landscaping of adjacent sites to create streetscape continuity.** (Sub-policy zones have established a planting strategy for the identity of streetscapes within the *RVBP*, which is dependent upon the private sector landscaping component to define a sense of planned streetscape.)
- f. **For multi-phase and/or multi-building developments, an apparent visual relationship between buildings or phases shall be evident** by employing massing relationships, architectural or landscape design elements like courtyards, walkways, or landscaping to conceptually connect the overall development.
- g. **Those sites which occupy nodal locations within the overall *RVBP*** – e.g., “gateway” sites, corner sites, or intersection sites typically – **shall accept the responsibility to provide upgraded or improved site design commensurate with their position in the overall development.**
- h. **Sites developed after adjacent sites are developed shall be sensitive to design cues afforded by neighboring developments** – i.e., design decisions shall be made consciously to complement or contrast, but shall not be made indifferent to context (e.g., setbacks, building form, scale, colours, materials, and landscaping).
- i. Overall site development shall be of an integrated and unified nature that is compatible with the design framework of the Design Guidelines for Royal Vista Business Park.
- j. **No communication towers will be permitted in the *RVBP* on privately owned lots. The *Vendor* retains the sole right to grant access for telecommunication facilities and/or towers.**



8.0 SETBACKS

No building shall be permitted to be erected or placed on any development site other than as provided for hereinafter. Any setback variance may only be permitted with the prior written approval of the *DRC*.

Note:

Those setback restrictions delineated in *6.0 Sub-Policy Zones*, when more restrictive, shall govern.

General

No portion of any form of construction shall be placed within any utility right-of-way, easement, or setback other than as follows:

- Steps, sidewalks, driveways, curbs and parking areas. **(Refer to 10.0.3 Greenspace Requirement.)**
- Landscaping (shrubs, plants, and/or screening as approved by *DRC*). **(See 10.0 Landscaping.)**
- Approved signage, underground equipment, and storm-water retention areas. (Undeveloped setback areas in private ownership should be utilized as on-site drainage courses and to enable on-site storm-water retention locations and percolation. Site specific study is required to determine the feasibility of this objective for each lot).

Minimum Setbacks

Front Yard/Building Setbacks:

The "front" of a building site will typically be the public thoroughfare frontage, but shall be construed as any side of a site that abuts a street within the *RVBP* (in the case of street corner sites, or dual frontage lots). All front yard/building setbacks will be standard to the I-B or DC District requirements except for the following:

- 112th Avenue (w/o parking) 25' (7.5 m)
- 112th Avenue (w/ parking) 20' (6.0 m)*

*Note: Parking areas are not typically preferred between the front yard setback of a property line abutting a street right-of-way and a building, but in this location, this configuration is strongly encouraged.

Side Yard /Building Setbacks:

The definition of a "side" of a site as defined per Land-Use Bylaw 1P 2007 for I-B Land Use District, and Land Use Bylaw 2P80 for the DC District shall apply.

Rear Yard /Building Setbacks:

The definition of the "rear" of a building site is as defined per Land-Use Bylaws 1P 2007 for I-B, and Land Use Bylaw 2P80 for DC District parcels, except for the following rear yard setbacks in **Buffer Zone E**:

- **DC District Lots:**
 - Block 1, Lot 4
 - Block 7, Lots 1,2,3,4 10.0' (3.0 m)**
- **I-B Lots:**
 - Block 7, Lots 5,7,8,9,10 8.0' (2.5 m)
 - Block 1, Lot 5 8.0' (2.5 m)

**Note: See allowable variation in 6.05 Buffer Zone F



9.0 PARKING AND CIRCULATION

Vehicular and pedestrian circulation within all parcels of land within the *RVBP* shall be designed to function effectively and to provide maximum safety, but **shall also have the appearance of sufficient landscaping**.

The number of vehicle access points to any given site will be based upon the Municipal Authority regulations, the size of the development, and the consideration to public safety, health and welfare. The underlying intent is keep the number of access points to a minimum.

Curb cuts along lot boundaries will be restricted to the minimum requirements of the Municipal Authority. **Mutual access driveway cuts may be developed to serve abutting parcels, and will be encouraged by the *DAC* (see *Map 1*).** Multiple entry driveways shall not be located closer than the minimum separation permitted by the Municipal Authority. All access/egress points must be approved by the *DAC*.

9.0.1 Surface Parking - Passenger Vehicles

- **Each *Proponent* shall provide required off-street asphalt-paved parking entirely within their site**, along with asphalt-paved access drives and asphalt-paved loading areas as required. **Storage and yard space may be surfaced with recycled asphalt where vehicular traffic is minimal. No vehicle parking shall be allowed** on any street, right-of-way, any portion of shared access, or **in any location within twenty feet (20' or 6.0 m) from a property line adjacent to any street.**
- The location, size and number of parking spaces within parking areas on a development site shall be subject to the approval of the *DAC*, but in no cases less than the minimum standards of the Municipal Authority and applicable codes and regulations.
- **Parking areas shall be landscaped and screened as set forth in these *Guidelines* under this Section, and 10.0 *Landscaping*.**
- Traffic paint for parking area pavement markings is to be **Yellow in colour typically (winter visibility)**, with International Symbol of Accessibility to be standard blue and white in colour.
- To provide better accessibility to buildings, **large expanses of paved areas should be avoided and smaller parking areas should be created with proper pedestrian walkways.** See figure 3, and 10.08.
- **Adequate landscape islands/peninsulas shall be incorporated into parking areas. The maximum horizontal extent of (opposed or single depth) stalls shall be equivalent to 10 stalls in width (maximum 85' (26.0 m)) and the landscaped islands/peninsulas shall be minimum 8'6" (2.6 m) wide.** See Fig. 3 & 10.08.
- **Pedestrian and vehicular traffic paths shall be separated as much as possible to minimize conflict points.** See Fig. 3.



FIG. 2

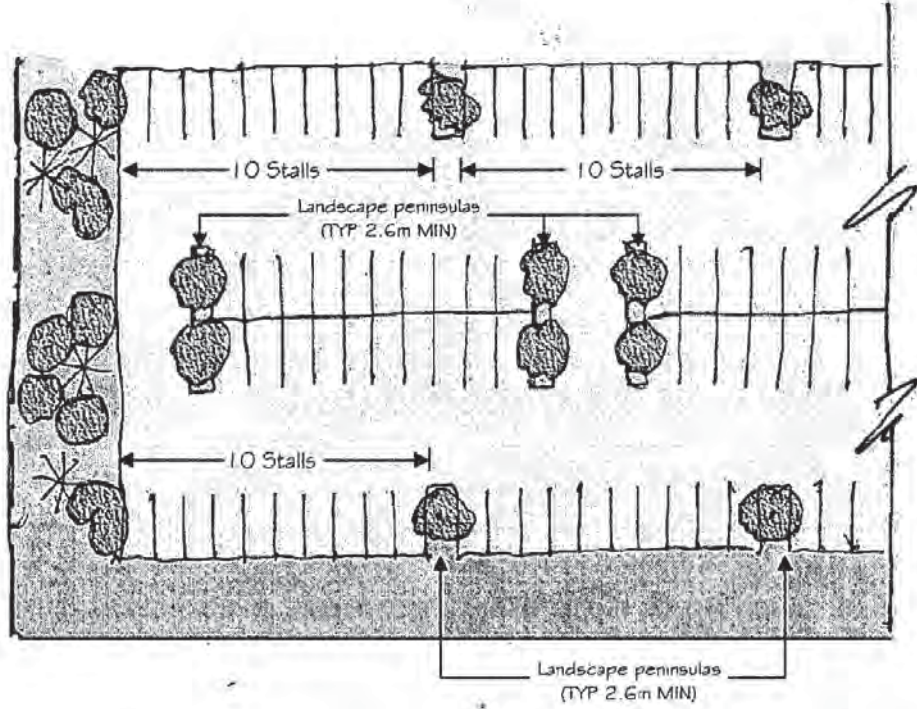
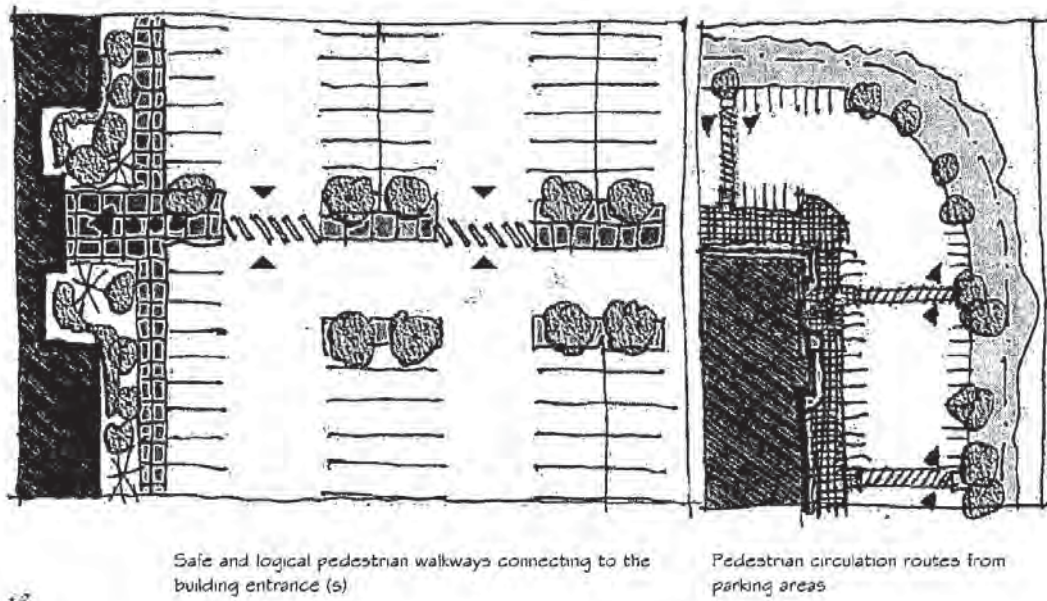

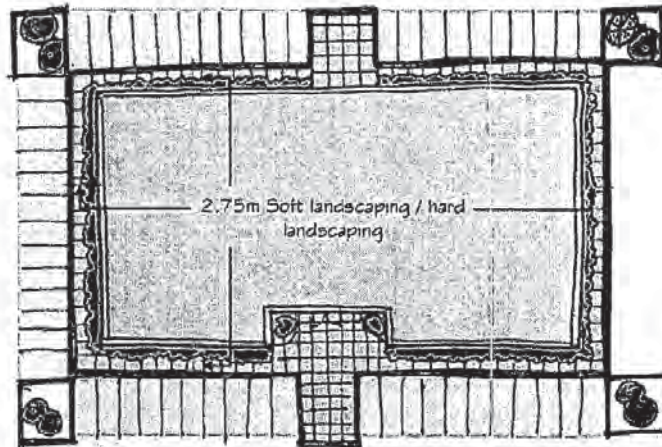


FIG. 3



- **Landscape buffers shall always be provided between parking lots and public streets, and between parking lots and buildings—creating 'green islands' - (and shall be 9' (2.75 m) wide minimum on all building sides whether only landscaping, or when equal to sidewalk - other than monolithic concrete - plus landscaping See Fig. 4.**

FIG. 4 



- **No parking shall be permitted closer than 4' (1.2 m) - or for those required 'prairie grasses' side yard/setback landscaping, no parking stalls shall be permitted closer than 8' (2.5m) - from an interior property line, and only when wheel stops are provided to prevent overhang onto the required landscaped yard/setback.**

9.0.2 Structured Parking

- For those developments which include **structured parking**, it shall **only be permitted to the rear of the site, within the building footprint itself, or wholly below grade with any exposed deck surface landscaped to the satisfaction of the DRC.** (An exception may be made to allow such a structure to the side of a site, or naturally ventilated and partially above grade if it can be demonstrated that the most reasonable site plan results from that positioning, and if its impact upon adjacent site(s) can be acceptably mitigated. In such a case, **Landscaping, and façade articulation shall be incorporated to minimize the impact of such structures** which will be specifically reviewed by the *DRC* for compliance and compatibility).

9.0.3 Curbs

- All roads provided in the *RVBP* will have an integral concrete curb and gutter. It shall be the responsibility of each purchaser to provide curb-cuts for their entrance driveways. Proposed entrance driveways will match existing curb and road pavement grades and design, and, or, comply with City of Calgary Standards.



- **All parking areas, islands, peninsulas, drives and edges of all paving located to the front, side, or rear of building development shall typically be curbed.**
- Parking spaces and related curb-cuts and ramps shall comply with all applicable requirements for barrier-free accessibility.
- Adequate drainage will be provided by the purchaser in accordance with the overall drainage plan for the RVBP, and all storm run-off from the parcel must be retained internally.
- **Where provided, internal parking areas should slope towards bio-retention cell locations and these should have no perimeter curbs - or make provision for surface water movement through curbing - at these edge conditions.** *[Surface water drainage from asphalt parking areas into these specifically designed landscaped zones for filtration, aquifer replenishment, and landscape irrigation is strongly encouraged. (See 10.0 Landscaping, and Appendix E.)]*

9.0.4 Paving and Walkways

- **All driveways, service, and parking areas shall be constructed of bituminous paving or concrete. (Yard and Storage areas in the DC District may be surfaced with recycled asphalt. Service areas such as loading and dumpster service areas, must be constructed with heavy-duty asphalt, but preferably with concrete paving).**
- **Paved walks or pedestrian areas adjacent to or near buildings** shall be of appropriate surface materials to be approved by the *DAC*, but shall be broom-finish concrete minimally **where they are not counted as "hard landscaping"** - they will be **integrally-coloured** with broom-finish minimally if they are to be included in "hard landscaping" calculations. **(Patterned** and integrally-coloured concrete walks are preferred from strictly an aesthetic perspective).



10.0 LANDSCAPING

10.0.1 General

The following section provides guidelines for the use of plant materials within the *RVBP*. A Landscape Plan (prepared by a Landscape Architect (AALA)) with sufficient information within the Site Plan, must be provided to *fully* convey the intent of the Landscape design, and shall include the type and location of grassed areas ; a legend of species/sizes/numbers of shrubs and trees; site furniture and hard landscaping; screening of all storage, loading, and parking areas; and, generally, all project data required by the Municipal Authority with the landscape standards outlined in Land Use Bylaws 1P2007 for I-B, and 2P80 for DC District.

All sites shall be landscaped only in accordance with the plan submitted to and approved by the *DAC*. Except for seasonal delays which would allow 'first landscaping season' planting, all construction of said landscaping work shall be completed within thirty days (30) after Substantial Performance or Occupancy of the first building on the site unless otherwise approved in writing by the *DAC*.

10.0.2 Design Concept

The predominant landscape character is primarily of tall grass high plains prairie. The prairie is characterized by low precipitation, large temperature fluctuations, winds, sparse vegetation, larger trees and shrubs associated with drainage ways, and prairie grasses. The intent is to preserve the special attributes, and, to the fullest extent possible, minimize adverse effects on the natural environment. **Regionally appropriate landscape treatments and historical context of treatments, windrows, and shelter belts will create a continuous landscape character zone that extends throughout the *RVBP*.** Landscaping in winter conditions should be considered and species chosen appropriately. Where landscaping is used to provide screening, coverage must be retained on a year-round basis.

The *Vendor* has determined that only drought-resistant, and preferably indigenous, grasses and plants will be used for landscaping in all City boulevards and on all private site development landscaping within the *RVBP*. (Bio-retention principles are strongly encouraged). **(See Map 3 Landscaping Concept on the next page, figures 5 ,6 and 7 following, and Appendix E).**

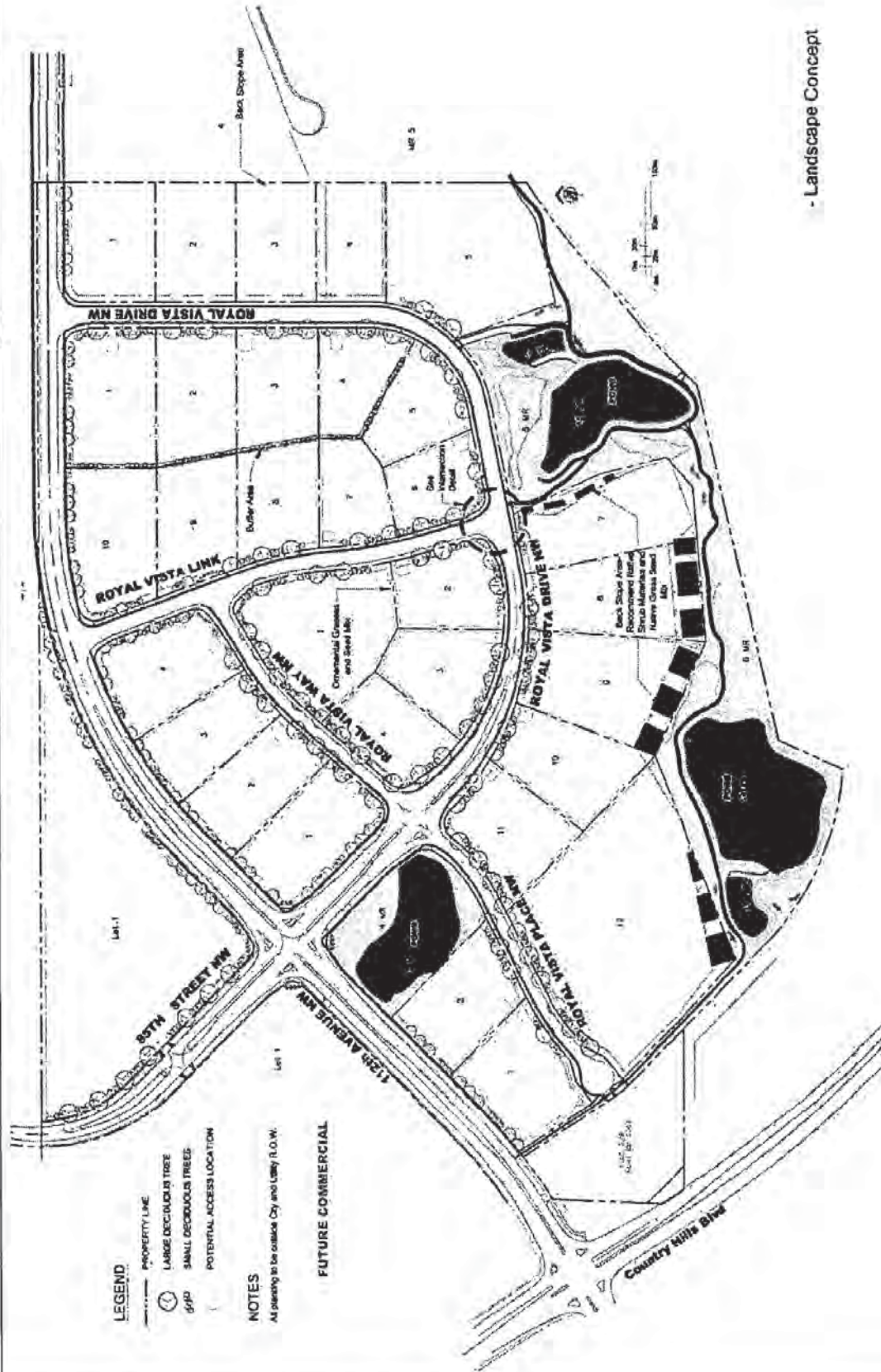
10.0.3 General Development Requirements

Landscaping shall be an integral part of the overall site planning and shall define circulation, provide human scale to activity areas, buffer adjacent uses and less desirable views and serve as a transition between sites.

A pedestrian circulation system is encouraged to integrate areas of the site with connecting walkways through landscaped areas. The quality of the landscaping should be a defining element for the site and consideration should be given to the angled sight lines from the street with attention given to site grading to compliment the landscaping. **(See Figure 3, and 9.0 Parking and Circulation).**

Provide a minimum 2.75m landscape buffer between any building face and the parking stalls. This buffer is to contain shrubs and trees and





- Landscape Concept

LEGEND

- PROPERTY LINE
- LARGE DECIDUOUS TREE
- SMALL DECIDUOUS TREES
- POTENTIAL ACCESS LOCATION

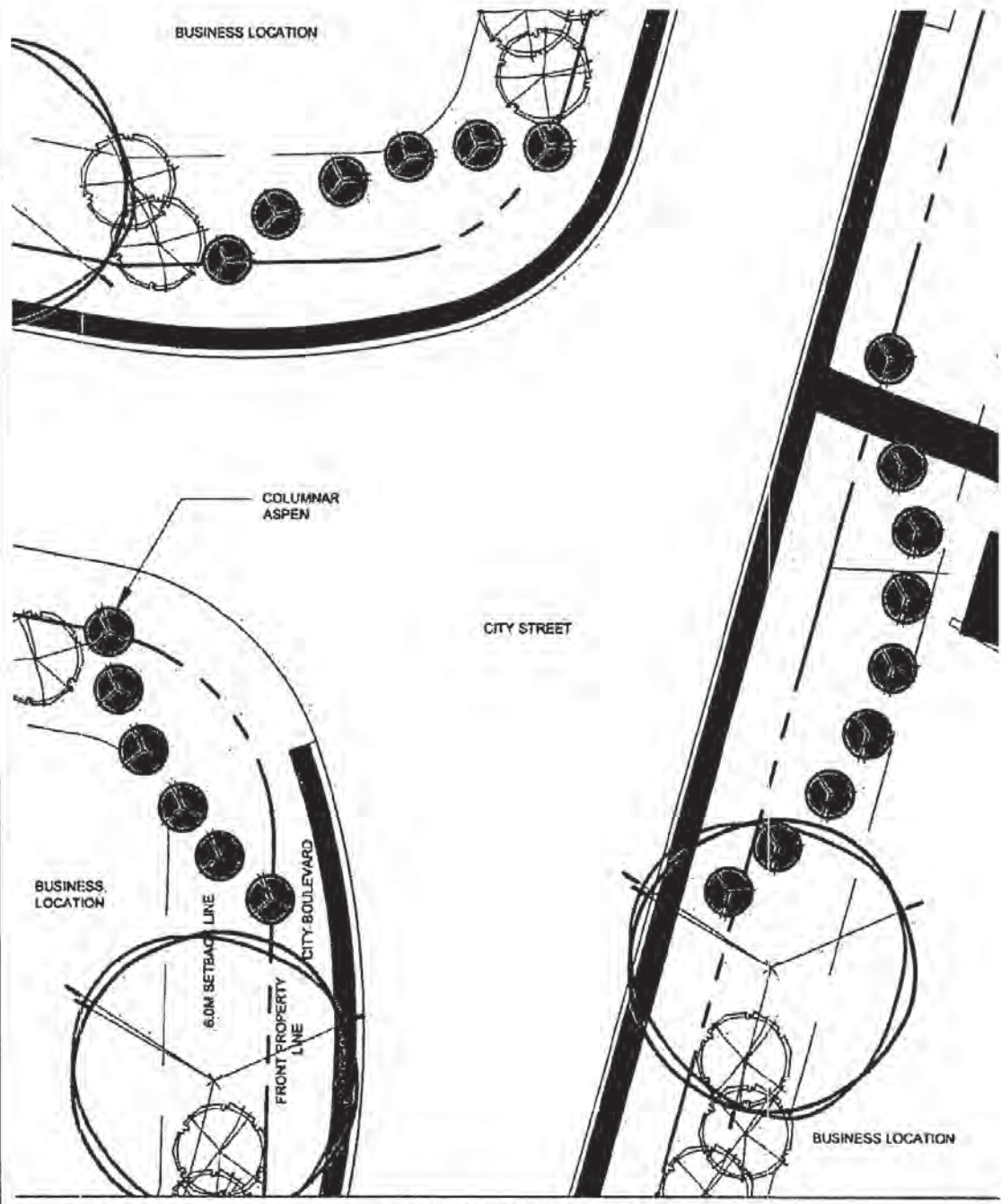
NOTES

All planting to be outside City and Utility 5.0 W.

FUTURE COMMERCIAL



FIG. 5



Scale 1:250
0m 2m 4m 10m

TYPICAL INTERSECTION PLAN



may contain a concrete (hard landscaping) sidewalk. Landscaping should be used to buffer the view of parking areas, storage areas, loading areas. **(See Figure 4, and 9.01).**

All unused portions of a site to be hydro-seeded using City of Calgary, Parks Department, Urban F Seed Mix.

10.0.4 General Requirements for Yards and Setbacks

No portion of any required yard or amenity area, or setback shall be provided by an adjacent site.

All front, side and rear yards shall be landscaped. All rear yards shall be designed to act as a visual screen to the interior of the site.

Proponents are encouraged to utilize Front Yard/Setback areas as stormwater collection bio-retention areas. (See typical setback cross-section **(Fig. 6 & 7), Appendix E,** and species requirements).

Landscaping areas required:

- Front Yard (all streets) equal to 20' (6.0 m) setback or Sub-Policy Zone setback required for the specific street frontage
- Side and Rear Yards equal to side and rear yards or Sub-Policy Zone setback required
- Area between Building Front, Side, and Rear Façade(s) & Paving 9' (2.75 m) minimum

Generally, all open site area without parking, storage, circulation, or buildings principally within, but not limited to, the front, side, and rear yard setback areas shall be planted and landscaped according to an approved plan based upon the requirements of this Section.

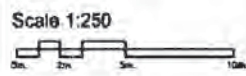
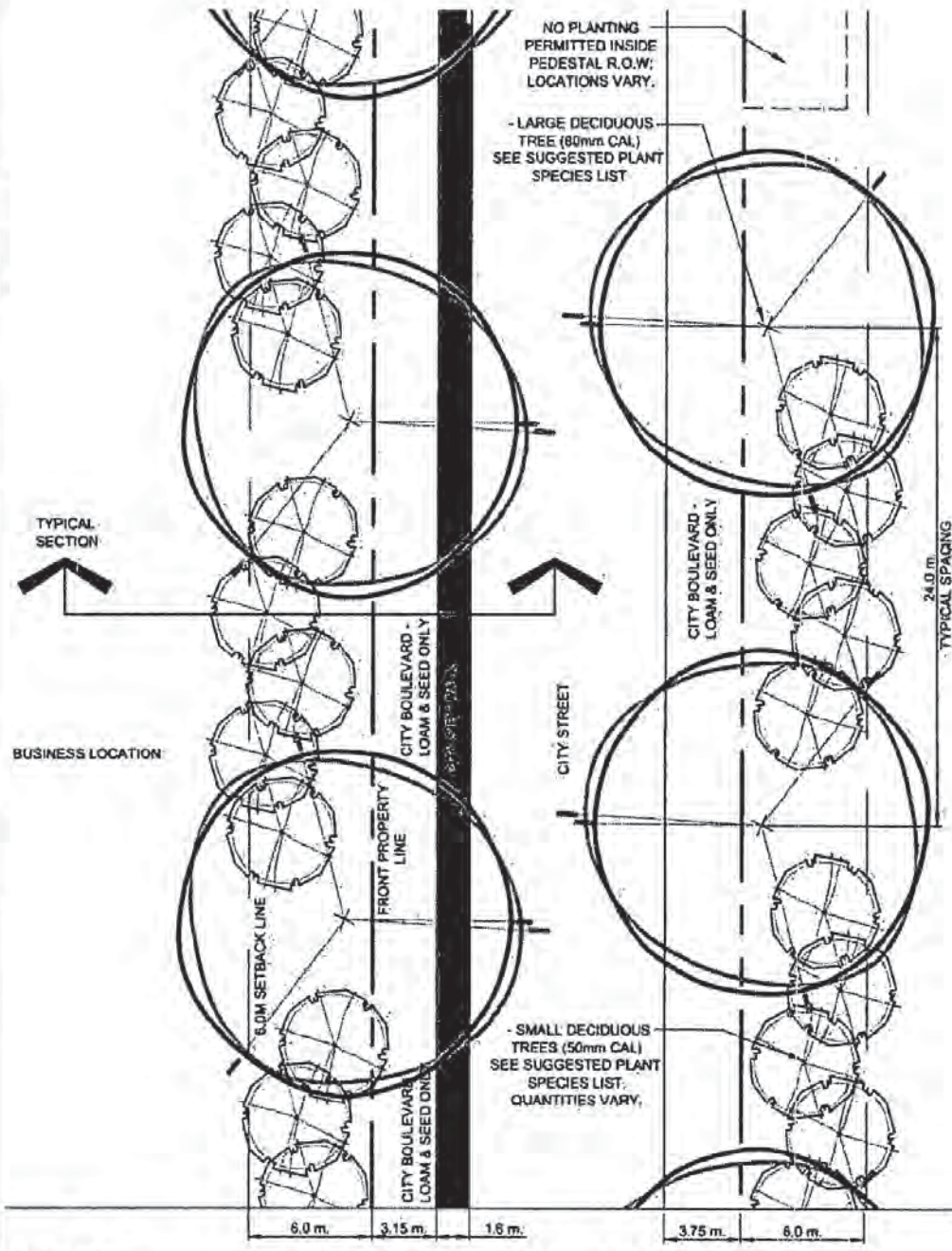
Typically, these minimum landscaped areas shall not be compromised. However, in small lot parcels (less than one and one half acres), these requirements may become disproportionately restrictive, so the *DAC* is prepared to assess each submission for such lots on a lot by lot basis and may permit the lesser requirements of the local Municipal Bylaw.

10.0.5 Landscaping Requirements

- The minimum number of trees and shrubs provided shall be one tree for each 35m² and two shrubs for each 35 m² of landscaped area.
- Landscaping shall be predominantly *living plant material* that meets or exceeds CNTA Standards and Specifications. Decorative sandstone boulders, wood/bark mulch, and river rock, may also be incorporated to enhance the design, but these shall not replace the living plant material.
- Landscaping shall form an integral part of any development proposal or application for approval within the site.
- Landscaping shall consist of an effective combination of trees, shrubs and ground cover consisting of grass and approved dry landscape materials.



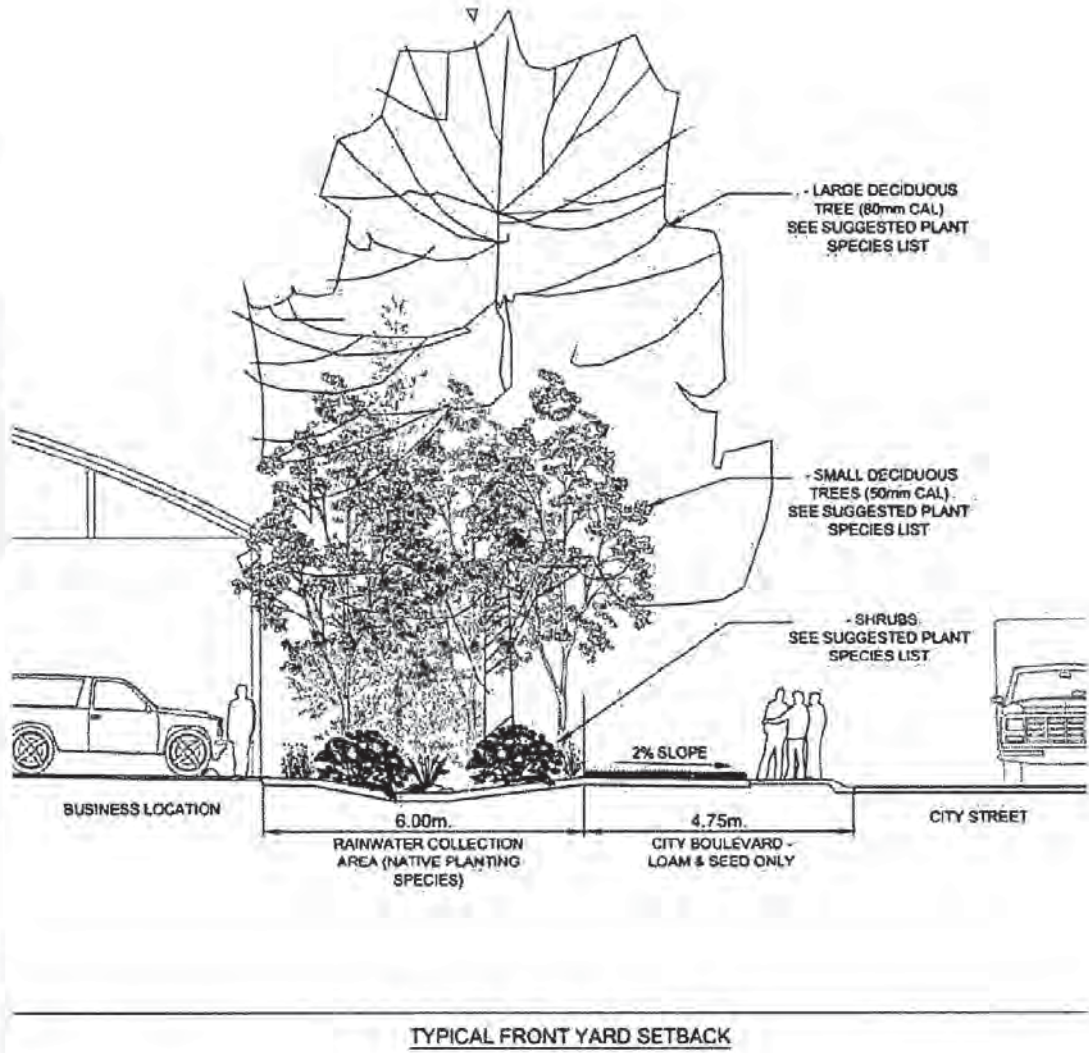
FIG 6



TYPICAL FRONT YARD SETBACK PLAN



FIG 7



- Deciduous trees must have a minimum caliper of 50 mm and at least 50.0 percent of the provided deciduous trees must have a minimum caliper of 75 millimeters at the time of planting.
- Coniferous trees must have a minimum height of 2.0 meters and at least 50.0 per cent of the provided coniferous trees must have a minimum of 3.0 meters in height at the time of planting.
- Shrubs must be a minimum height or spread of 0.6 meters at the time of planting.
- Recommend front setback areas use short grass prairie mix that is maintained to a height of 18 to 24 inches and is mowed infrequently. Side and rear setbacks to use mix of tall and short grass prairie seed mix which is to be left unmowed.
- All soft landscaped areas shall be irrigated with an automatic low water irrigation system (eg. micro-spray, drip) and shall be programmed and monitored to provide adequate and efficient watering for plant material.
- Pedestrian circulation should enhance the site by means of hard surface walkways through landscaped areas. All required yards and all open spaces shall be landscaped with trees, shrubs, and sod or other approved hard landscaping. Only unoccupied site areas may be seeded with Urban F Seed Mix.

10.0.6 Responsibility for Landscaping Maintenance

- The owner of the property, or his successor, or assignees, shall be responsible for the proper maintenance of the landscaping. All plantings are to be kept in a healthy, trimmed and growing condition. Watering, fertilization, cultivation and tree pruning shall be considered part of regular maintenance.
- Boulevard ground-cover landscaping from the edge of the road to the property line will be installed by the *Proponent* and will be maintained by the *Proponent* from installation date and after Final Acceptance Certificate is issued.
- All landscaping – both within the property line boundaries of each individual parcel **and including the city boulevard** – is solely the responsibility of the *Proponent*, and must be constructed to the City of Calgary, Parks Department specifications.

10.0.7 Landscaping of Undeveloped Areas/Future Phases

Landscaping plans will be required for phased or Undeveloped areas and must incorporate provision for erosion control on all graded sites which will remain vacant for six months or more. Undeveloped areas shall be maintained in a weed-free condition, and leveled, graded and grassed.

10.0.8 Landscaping within and for Parking Areas and Storage Areas

- There shall be landscaped open space within the interior of parking areas for 30 or more vehicles. This landscaped open space is in addition to the screening requirements with respect to other areas. Landscaped open space in parking areas shall be provided in the minimum amount of 1.7m² for each parking space.
- Landscaped parking islands/peninsulas (min.2.6m wide spaced every 10 stalls) are required to break up the parking lot. These



islands/peninsulas are to be constructed using soft landscaping materials. (See Figure 2.)

- The open space shall be located within the parking area so as to provide visual relief and break up large expanses of parking into smaller calls.
- A parking area which is visible from an adjoining site or public adjacency shall have a screen planting. The location, length, density and height of such screen planting shall be in conjunction with a change in grade or other natural or manmade features. i.e. Retaining walls. A minimum of one, 80mm caliper tree per 2.5 parking stalls will be required for screening of the parking area.
- A garbage collection area or an outdoor service area which is visible from an adjoining site or public adjacency shall have screen planting. The location, length, density, and height of such screen planting shall, in conjunction with a change in grade or other man-made or natural features, be provided and maintained to block the view from adjoining sites or public adjacencies. Such screen planting shall be maintained to provide effective screening from the ground to a height of 1.85m.
- When tree-grates are employed, they shall be 5' (1.5 m) square or round dimension.

10.D.9 Amenity Space

- Amenity areas are required in the landscaping to serve as space for active or passive recreation and enjoyment of the building occupants. Exterior amenity areas may include patio, garden, and walking surface areas.
- Each site development shall provide a **patio amenity space** which shall typically be at the front or side of the principal building, but the microclimate benefits should determine location considerations.
- For multi-tenant sites, or those sites which propose developments of such a scale which warrants a greater number of patio amenity areas, the *DRC* reserves the right in its sole discretion to request that such additional amenity spaces be provided on an equitable per tenancy or per square foot basis.
- **Each patio amenity space shall have:**
 - seating capability for four (4) persons;
 - several 80-85 mm caliper trees and shrubs;
 - grass-pavers, or integrally-coloured patterned concrete, or pre-cast integrally-coloured concrete pavers in an area equivalent to 15' x 15' (4.5 m x 4.5 m);

and, in addition, would, preferably have some form of *trellis*, *arbor*, or *pergola* to help define the space, shade it from wind and sun and help create a microclimate to extend the use of the space into the shoulder seasons.



Specifications for Planting Materials

All plant materials must be of a species capable of healthy growth in Calgary Region and must conform to the standards of the Canadian Nursery Landscape Association.

A minimum of 25.0 per cent of all trees required must be coniferous.

Deciduous trees must have a minimum caliper of 50 millimeters and at least 50.0 per cent of the provided deciduous trees must have a minimum caliper of 75 millimeters at the time of planting.

Coniferous trees must have a minimum height of 2.0 meters and at least 50.0 per cent of the provided coniferous trees must have a minimum of 3.0 meters in height at the time of planting.

Shrubs must be a minimum height or spread of 0.6 meters at the time of planting.



10.0.10 Plant Species

Suggested Deciduous Trees

Botanical Name

Acer ginnala and negundo
Betula nigra
Betula papyrifera
Caragana arborescens

Crataegus mordenensis
Larix sibirica
Populus x 'Brooks #6'
Populus x 'Byland Green'
Populus tremula 'Erecta'
Populus tremuloides
Prunus pennsylvanica
Prunus virginiana
Melanocarpa
Sorbus aucuparia 'Fastigiata'

Common Name

Amur Maple
River Birch
Paper Birch
Sutherland Caragana
'Sutherland'
Toba Hawthorn
Siberian Larch
Brooks #6 Poplar
Byland Green Poplar
Swedish Columnar Aspen
Trembling Aspen
Pin Cherry

Chokecherry
Russian Mountain Ash

Suggested Coniferous Trees

Botanical Name

Picea pungens
Picea glauca
Pinus aristata
Pinus contorta var. latifolia
Pinus flexilis

Common Name

Colorado Spruce
White Spruce
Bristlecone Pine
Lodgepole pine
Limber Pine



Suggested Shrub Material

Botanical Name

Caragana spp.
Cornus spp
Cotoneaster lucidus.
Elaeagnus commutate
Juniperus spp.
Lonicera spp.
Physocarpus opulifolius
Pinus mugo
Prunus fruticosa
Prunus tenella
Prunus x cistena
Ribes Alpinum
Rosa woodsii
Salix brachycarpa
Symphoricarpos albus
Viburnum trilobum

Common Name

Caragana (various)
Dogwood (various)
Hedge Cotoneaster
Wolf willow
Juniper (various)
Honeysuckle
Golden Ninebark
Mugo pine
Mongolian cherry
Russian almond
Purple Leaved Sand Cherry
Alpine Currant
Wild Rose
Blue Fox willow 'Blue Fox'
Snowberry
Bailey's Compact Cranberry

Suggested Grasses

Variegated Reed Grass

Calamagrostis x acutiflora

'Overdam'

Bronze Tufted Hair Grass

Deschampsia cespitosa

'Bronzeschleier'

Foerster Feather Reed Grass

Calamagrostis x acutiflora

'Karl Foerster'

Metallic Switch Grass

Panicum virgatum

'Heavy Metal'

Required Native Grass Mix City of Calgary, Parks Department,
Urban F

Refer to Appendix D for information on Plant Selections



11.0 SERVICE FACILITIES

11.0.1 Loading and Service

- Each site development plan shall provide sufficient site area to accommodate site activities specific to its operation. All loading and required turning movements shall be possible within the net area of the site allowed for such operation. Loading areas shall be separated from pedestrian and passenger vehicle traffic.
- **Loading and receiving areas should typically be located to the rear of sites, and shall not have the dock(s) or the dock door(s) directly facing any street within the RVBP.** Loading docks shall not be located on the side of a building facing the front side of a lot, and should not be angled less than 90 degrees to any immediate street within the RVBP. For purposes of this paragraph, dock(s) shall be considered to be not facing any street within the RVBP as long as there exists an adjoining building site between the dock(s) in question and the said street(s). **All loading dock configurations must be approved by the DRC,** and shall be minimally screened by a minimum 8' (2.4 m) high wall matching the predominant exterior material of the principal façade, or, shall be incorporated into the design of the building to minimize exposure to the public and to adjacent uses.

11.0.2 Outside Storage and Display

- **Garbage storage facilities shall be compatible with and/or finished with the same predominant exterior material(s) as the principal building(s).** Preferably, garbage storage facilities shall be screened such that they are not visible from any street, adjacent lot, or building entrance. No garbage, waste or surplus material shall be kept, stored, or allowed to accumulate on any portion of a building site except in an approved bin or container within an enclosed structure appropriately screened from view and approved by the DRC. All such materials shall be regularly removed from each building site.
- Yard Storage shall only be permitted on lots within the DC District and shall comply with the requirements of the applicable Land Use Bylaw.
- Except during the construction of improvements on a site, **no materials, supplies, or equipment, other than those integral to the operation of the business** conducted on the site, shall be stored in any area on a building site except if approved by the DRC and only if appropriately screened within the DC District. Screening of all approved storage within the DC District shall be permanent in nature and shall be constructed and maintained in accordance with the *Guidelines*.
- **Outside display shall be limited to items of equipment, product or process produced and/or sold by the business or industry on the site and shall only be permitted within the DC District.**

All such display areas for such free-standing equipment shall be properly surfaced (typically hard-surfaced) and drained.



- **No temporary buildings** or other temporary improvements, including but not limited to shacks, trailers, or tents **are permitted on site**. The only exceptions shall be when used solely in connection with the construction of approved permanent improvements and only if approved in writing by the *DRC*. In such a case, they shall be located as inconspicuously as possible, and shall be removed no later than fourteen (14) days from completion, or occupancy, of the said construction (whichever occurs first).

11.0.3 Yard Fencing

- **(Black) vinyl-coated chain-link fencing may only be used in the DC District as indicated on Map 1** to secure storage or operations yards from the public.
- **The only fence type permitted in the I-B lots is three (3) rail white vinyl pre-fabricated fencing 4' (1.2 m) high.**
- No fencing will be approved which extends beyond the front face of the building on the principal façade facing the street frontage.

11.0.4 Mechanical Equipment

- **Mechanical equipment shall not be located within the front yard setback between the building(s) and the public rights-of-way.** (Some exceptions may be allowed by the *DRC*, if, and only if, it can be demonstrated that an alternate location is not achievable or feasible, and only if sufficient screening is provided to minimize the impact of the equipment to the public).
- **Roof-top equipment shall be fully screened by parapets, equipment wells, or approved screening devices. (See 14.9 Roof-Top Screening.)**



12.0 SIGNAGE

12.0.1 General

This section sets the requirements for the design of signage and graphic conventions within the Royal Vista Business Park. In general, **signage will be utilized as an additional unifying element within the RVBP to provide a sense of continuity and community.**

Only those signs complying with the requirements of this section will be allowed by the DAC. No sign shall be erected until location, plan, elevations, section and details, with specifications have been reviewed and approved in writing by the DAC. Signs failing to meet these *Guidelines* shall be removed at the cost of the *Proponent*.

All signs shall be of a size and character which preserves the intended nature and sensibility of the RVBP, and shall only be as approved in writing by the DAC. Signage planning for each building site shall be carefully integrated into the overall site design, and, in principle, all signage on an individual site shall be related by design.

12.0.2 Applicability

All signs subject to the requirements of these signage guidelines and as prescribed from time to time by the DAC, are also subject to the regulations of the Municipal Authority in the 1P2007, Part 3, Division 5 Signage requirements (and to the Appendix - Signs Regulation of the 2P80 Land Use Bylaw for the DC District).

The DAC may approve a *building standard sign program* in writing, and, if so, signs installed in strict conformance with the requirements of such an approved program shall not be required to have separate approval. Any sign which does not conform to such a pre-approved program may not be installed (unless the deviation is pre-approved in writing by the DAC), or, if installed, may be removed unless subsequently approved in writing by the DAC.

12.0.3 Prohibited Signs

In addition to signs specifically prohibited by Land Use Bylaw 1P2007, the following signs are prohibited within the specific Royal Vista Business Park development area:

1. Billboards
2. Signs painted directly on building surfaces
3. Signs located or painted on any window
4. Information about goods and services not available onsite.
5. Electronic message signs.

12.0.4 Permitted Signs

The following signs are permitted unless otherwise noted, or as excluded by Land Use Bylaw 1P2007:

- A. Permitted for All Uses
 1. Construction period signs
 2. Directional signs
 3. For Sale, rental or lease signs



12.0.5 Building Identification (Fascia) Signage

The intention is to satisfy signage by freestanding monument signage typically, whether a building accommodates one tenant or more than one business, building identification (fascia) signage will be considered on an individual basis.

In principle, individual identification signs on a building with more than one tenant shall be approved provided there is not more than one sign per entrance, and consideration of single tenant/business buildings for additional fascia signage will be evaluated by the DRC. Corner lots within the RVBP may be permitted to have signage on both street frontages.

It is acknowledged that many businesses have their corporate identity expressed in signage and graphics which can be expressed in building identification (fascia) signage. However, **the only information that will be allowed on the identification signage (fascia) will be the name of the business with its identifying corporate logo and colours, and in no case will the actual corporate identity or logo occupy more than 0.96m² for multiple tenant locations, or 3.5m² for single tenant fascia signage.** The area outside of the logo space shall have a white background with black typeface. If such an identifying corporate logo is exclusively a graphic symbol, then that symbol alone may occupy the full signage area permitted.

Note: The DRC reserves the right to request signage review for approval even when the signage application occurs after DRC approval has been given for DP application. In principle, all signage must conform to requirements of the specifications of this sections

12.0.6 Vendor Provision of Signage for RVBP

In addition to the permitted signs listed above, the following signs are also permitted .

a) Monument Signs - Gateway Signage for RVBP

Primary Sign

One (1) on-premises primary monument sign **will be provided by the Vendor** as follows:

- Located at the intersection of 112th and Royal Vista Way
- Corner or in-median positioning of the sign is allowed. Location TBD upon Design specification. *(See Figure 8)*
- Sign Placement - Sign must be placed within the boundaries of the site such that it does not interfere with pedestrian or vehicular traffic. The sign must be located so that it can be clearly read from streets and is to be clear of all site obstructions.

Proponents shall not place signage in this location.

Secondary Signs

Two (2) on-premises Secondary monument signs **will be provided by the Vendor** as follows:

- One (1) located at the intersection of 112th and Royal Vista Link. *(Figure 9)*
- One (1) located at the intersection of 112th and Royal Vista Way. *(Figure 10)*
- Location TBD upon Design specification.
- Sign Placement - Sign must be placed within the boundaries of the site such that it does not interfere with pedestrian or

FIG. 8



FIG. 9



vehicular traffic. The sign must be located so that it can be clearly read from streets and is to be clear of all site obstructions.

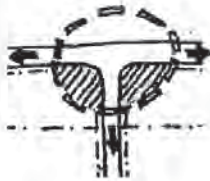
Each secondary monument sign will be maximum 2.5 m², & 1.8m. high.

Proponents shall not place signage in this location.

b) Street Name Signage for RVBP

Special monument street name signs **provided by the Vendor** could be integrated in combination with the landscaping in specific intersections as follows:

FIG. 10



- Royal Vista Drive – Royal Vista Place – Royal Vista Way **(Figure 11)**

- Royal Vista Drive – Royal Vista Link **(Figure 12)**

- Royal Vista Way – Royal Vista Link **(Figure 13)**

- Location TBD upon Design specification.

- Sign Placement - Sign must be placed within the boundaries of the site such that it does not interfere with pedestrian or vehicular traffic. The sign must be located so that it can be clearly read from streets and is to be clear of all site obstructions.

- For each street name, maximum one 2.5 m², 1.0m. high [maximum] on-premises monument sign.

Proponents shall not place signage in this location.

FIG. 11



c) Building (Site) Identification Signage for RVBP

Free-standing signage identifying each owner and Municipal Address will be required within the RVBP. The provision of standardized signage **by the Vendor** will facilitate way-finding, and will further unify the visual impression conveyed by all development within the RVBP. This **free-standing signage provided by the Vendor will conform to the following attributes and Standards:**

- consistency from site to site, i.e. material, colour, etc.
- **one on-premises sign at street access/egress location shall not exceed 3.6 m² & 1.5m. high.**
- shall sit on a proper foundation below frost line.

FIG. 12



Assuming one building per parcel, each building is permitted one freestanding identification/address sign (Primary Access). A Secondary sign (without a street address) is permitted for those proponents with two access locations. **(See Table 1—next page).**

Corner lots within the Business Park are permitted to have signage on both street frontages.

d) Building (Site) Identification Signage Placement

Where signs are placed on street frontages, each sign will be placed within the boundaries of the site such that it does not interfere with pedestrian or vehicular traffic. The sign must be located so that it can be clearly read from streets and is to be clear of all site obstructions.

All free-standing pedestal signage shall be placed in unobstructed view, perpendicular to the serving public thoroughfare at the principal site access point no more than 20' (6 m) removed from the edge of the property line at the public/principal driveway. Where a development site has sufficient frontage to warrant two or more separate and distinct public/principal

FIG. 13



TABLE 1 

Block	Lot	Municipal Address	Primary Access	Secondary Access	
1	1	49	Royal Vista Drive	112 th Av.	
	2	45	Royal Vista Drive	N/A	
	3	41	Royal Vista Drive	N/A	
	4	37	Royal Vista Drive	N/A	
	5	33	Royal Vista Drive	N/A	
	6	Wetland			
	7	25	Royal Vista Drive	N/A	
	8	21	Royal Vista Drive	N/A	
	9	17	Royal Vista Drive	N/A	
	10	13	Royal Vista Drive	N/A	
	11	9	Royal Vista Drive	Royal Vista Place	
	12	N.I.C. (Place of Worship)			
2	1	11	Royal Vista Place	112 th Av.	
	2	7	Royal Vista Place	112 th Av.	
	3	Wetland			
3	1	N.I.C. (Commercial Site)			
4	1	8450	85 th Street	112 th Av.	
5	1	4	Royal Vista Way	112 th Av.	
	2	8	Royal Vista Way	112 th Av.	
	3	12	Royal Vista Way	112 th Av.	
	4	16	Royal Vista Way	112 th Av.	
6	1	11	Royal vista Link	Royal Vista Way	
	2	22	Royal Vista Drive	Royal Vista Link	
	3	14	Royal Vista Drive	N/A	
	4	10	Royal Vista Drive	Royal Vista Way	
7	1	48	Royal Vista Drive	112 th Av.	
	2	44	Royal Vista Drive	N/A	
	3	40	Royal Vista Drive	N/A	
	4	36	Royal Vista Drive	N/A	
	5	32	Royal Vista Drive	N/A	
	6	28	Royal Vista Drive	Royal Vista Link.	
	7	14	Royal Vista Link	N/A	
	8	10	Royal Vista Link	N/A	
	9	6	Royal Vista Link	N/A	
	10	2	Royal Vista Link	112 th Av.	



vehicular entrances, then additional signs complying with the requirements of this section will be allowed in the ratio of one sign per entrance.

Note: The location of address signage must be approved by the DRC prior to DP application so that line assignment may be determined by the Municipal Authority.

The position of the sign must be integrated in combination with the landscape with 2 different location options :

- Joint/Mutual Access Driveways (Figure 14)
- Independent Driveways (Figure 15)

FIGURE 14

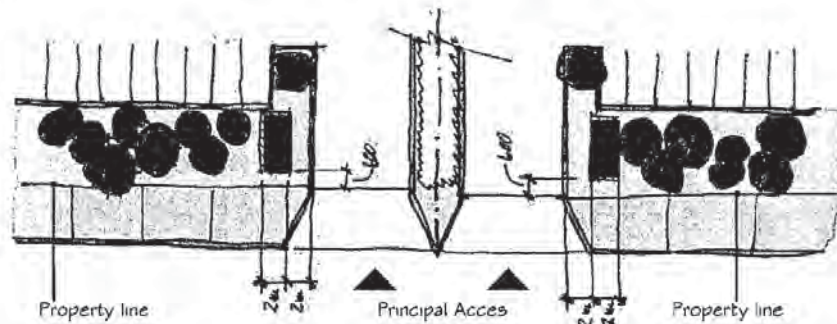
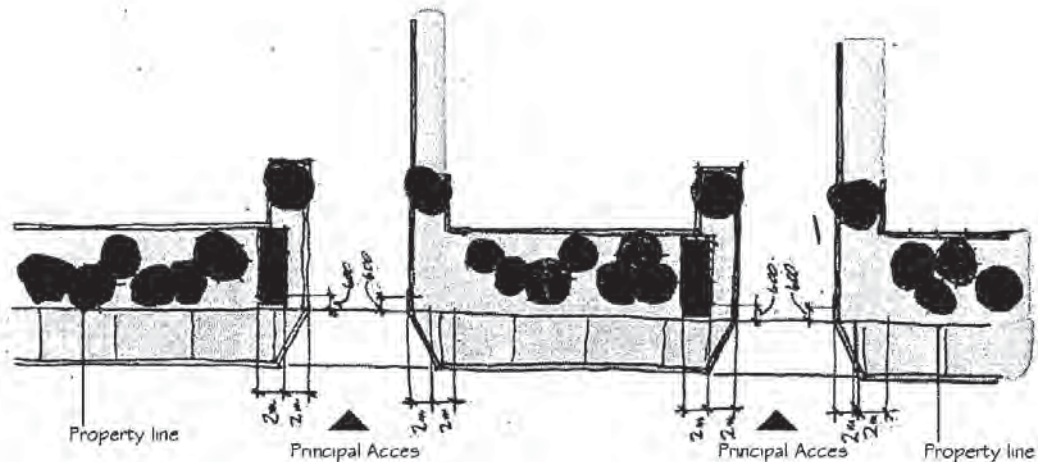


FIGURE 15



 Permitted Zone Area
 Sign



e) Graphic specifications

Principal type style for address number and address names shall be

- "Linotype Futura" in the following weight: Futura Medium. Fonts are available from Linotype, email: info@linotype.com, web: <http://www.linotype.com/12689/futuramedium-font.html>. Phone: +49 (0) 6172 484-418, Fax: +49 (0) 6172 484-429, Contact by Mail: Linotype Library GmbH, Du-Pont-Straße 1, 61352 Bad Homburg, Germany.
- The fonts are available on disk for Macintosh and/or DOS/Windows platforms.
- All proposed sign messages must be submitted by the Proponent to the Vendor as a printed schedule for verification prior to manufacturing of the signs.

f) Reproduction methods

- Incised and Dimensional Profile Cut Graphics
- All water jet cut and laser cut letters, numbers, symbols and other graphic devices on sign faces to be precisely formed incised or dimensional profile cut copy, with no flaws, burrs or cross cuts and ready for prime and paint finish or final stainless steel finishing.

g) Quality assurance

- Provide first class workmanship, detailing, typography and installation.
- The Proponent shall allow the Vendor full access to plants and shops to view and inspect all processes and methods employed in fabrication and assembly of signs.
- The Vendor may reject any and all components which, in his opinion, are not in strict conformance with the contract documents and reviewed shop drawings, approved mock-ups and samples. All quality control procedures are the responsibility of the Contractor.

12.0.7 Temporary Signs and Construction Signage

Each parcel may have a temporary sign designated for leasing, and as much as one temporary sign per consultant discipline involved in the design of the project or the project improvements. The construction signage shall typically be removed when site hoarding is removed, but otherwise is to be removed within 90 days of Substantial Performance. Only if approved in writing by the building owner and if attached to permanent perimeter fencing shall such signage be allowed to remain in place for a maximum of 180 days.

12.0.8 Maintenance

All of the above signage requirements shall be maintained in an attractive and safe condition. In the event that signage is not maintained and requires repair, a notice of said disrepair and the requirement to correct the condition will be sent to the responsible owner. If the required repair is not completed within thirty (30) days, the *Vendor* may undertake the repair at the owner's expense.



13.0 LIGHTING

The following section provides guidelines in reference to lighting.

The lighting of buildings and their surroundings should be low-key, yet lighting design should provide for safety and security on the building site. **Overall high levels of light are not desirable, and lighting intensity should be no greater than that required for automobile and pedestrian safety.** Lighting should be used to accent entrances, façade features, and to illuminate parking areas with lighting levels which promote a sense of safety. **Lighting in parking areas shall be limited to metal halide fixtures.** Floodlighting which causes light spillage and glare shall not be permitted.

The objectives for exterior lighting are:

- To contribute to the safe, secure, and efficient use of a development site.
- To complement and delineate the architecture and site character.
- To determine a safe and consistent on-site parking lot illumination level throughout the *RVBP*.
- To ensure no light trespass, and thus ensure no negative impact to adjacent lots or streets.
- To encourage lighting design and fixture specification that is in conformance with energy-saving guidelines.

13.0.1 Building Lighting

Appropriately integrated and controlled ground-mounted or complementary up-down wall-wash lighting of buildings will be the only type of lighting permitted. Where lighting fixtures are attached to the building, the design and colour of the fixture will be compatible. To minimize the number of external light fixtures, light from inside the building should be considered wherever possible.

All lighting visible from any public thoroughfare shall be indirect or shall incorporate a full cut-off shield fixture. Building-mounted site lighting is not preferred. Exceptions may be permitted if it is deemed by the *DAC* that the particular site conditions merit the variance.

13.0.2 Site Lighting

All site lighting shall be pole-mounted. Light fixtures on the perimeter of the site, and loading dock lighting will be shielded with 60 degree (or greater as required) cut-off shields in order to minimize glare and prevent light spillage on to adjacent properties.

Parking Lots

A minimum of 6 LUX illumination will be maintained within parking lots with pole-mounted fixtures preferably with flat lenses, or otherwise equipped with appropriate cut-off shields to minimize glare and light spillage.

Pedestrian Walkways

A *minimum* of 10 LUX illumination will be provided along pedestrian walkway routes and a *maximum* of 30 LUX may be provided around the principal entranceway.



Service Yards and Driveways

A *minimum* 5 LUX is to be provided in all storage and driveway locations, and loading dock areas may provide as much as a *maximum* of 50 LUX of illumination.

Lighting Fixtures

Fixture mounting height shall not exceed 35' feet (10.75 m), and all pole-mounted fixtures shall be set on a concrete base extending 30" above finished grade. The pole type should be aluminum or steel (with a factory-applied black polyester powder-coated finish). The lamp type will be metal-halide.

Maintenance

In the event that site lighting is not maintained in a safe and attractive manner and becomes in need of repair, a notice of such disrepair will be delivered to the owner responsible. If repair is not initiated within thirty (30) days, repairs may be undertaken at that owner's expense.



14.0 BUILDING FORM AND CHARACTER

Building design, materials and exterior finishes, colours, and landscaping shall support the creation of an attractive business park environment and shall conform to the provisions of the Royal Vista Business Park Architectural and Development Design Guidelines. These Guidelines are provided to create attractive developments by example, and their enforcement will ensure proper and desirable construction within the RVBP. It is the intent of these Guidelines that compliance and cooperation by the collective ownership will derive a net benefit to that ownership.

All structures within the RVBP shall be constructed to meet the basic requirements represented within this following section, including integration of the design of all structures within the overall site design, and the use of materials deemed suitable and recommended by the DRC. Should a proponent acquire multiple lots with the intent of multiple buildings, the expression of these shall be differentiated and shall not be duplication of each other.

14.1 CONTEXT & VISION

As an indigenous species—trees, shrubs, & grasses - prairie theme characterizes the landscaped framework for development. "**Prairie (Style) Architecture**" - primarily characterized by an emphasis upon the horizontal proportion of built form - is the compatible building style permitted.

Each building site shall be site-specific in its design, measurably different from its neighbors, yet deferential in some definable way, and generally should improve the aesthetic character of its surroundings.

- All facades visible from the public domain shall have architectural expression and attention equal to the principal façade.
- Large buildings shall be articulated to de-emphasize the building mass and scale.
- Principal entrances and primary building elevations should orient to public streets and should be well-defined to facilitate pedestrian connections.
- Where a site abuts public open space, the interface treatment shall be carefully considered.

14.2 PRINCIPLE ELEVATIONS

Prairie (Style) Architecture expresses a response to environment, and the historical proportions of this style shall characterize all development within the RVBP.

Principal facades of buildings visible from a public street shall include architectural elements such as plane articulation, controlled changes in material, texture, and colour, and a more generous percentage of windows in position. **(See Fig. 16)**

All facades visible from the public domain shall have in suitable proportions:

- Horizontally proportioned elevational components.
- Horizontally configured material patterns, window head treatment, or solar shading devices (where effective).
- Horizontally proportioned fenestration.
- Emphasized soffits and horizontal roof overhangs when sloped roofs are incorporated.
- Protected openings (eg. windows, doorways, thresholds etc).
- Strong base definition, middle field, and top expression (tripartite).
- Field areas to be lighter in tone relative to darker tone base, 'cornice' line, and accent elements.





FIG 16



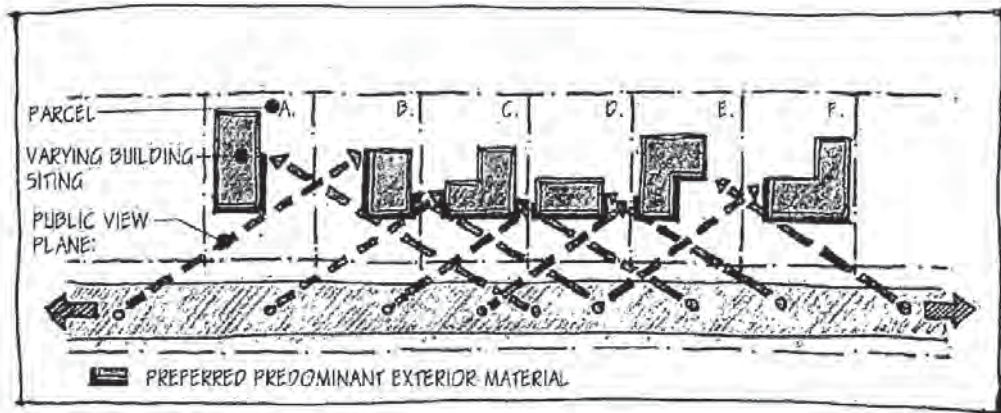
14.3 MATERIALS AND COLOURS

- 14.3.1 Building colour scheme will be assessed on an individual basis, and consideration for existing context will also affect the review and approval process for each Proponent. Colour choice is subjective, but combinations which, in the opinion of the *DRC*, seem inherently imbalanced or which contrast objectionably with existing adjacent building colour schemes should be avoided. **The principle intention is to have developments which employ colour palettes that respect and are compatible with the development framework of RVBP which strives to compliment natural wetlands and natural areas, native species trees, shrubs, and grasses.**
- 14.3.2 The *Vendor*, therefore, proposes to provide **five (5) compatible principal colour option palettes** with which all projects built in the *RVBP* shall be finished. Variation is naturally desirable, but only within the context of a governing framework will that variation be appreciated. It is hoped that the palettes provide ample choice for each Proponent to ensure this objective. **Allowed Colour Palettes:**
- **Palette Option I - "Sandstone"** - exterior materials which emulate the colours of natural sandstone. (See Appendix C)
 - **Palette Option II - "Dry Earth"** - exterior materials which emulate the colours of sun-dried clays. (See Appendix C)
 - **Palette Option III - "Deep Earth"** - exterior materials which emulate the tonal range of colour found in covered loam deposits. (See Appendix C)
 - **Palette Option IV - "Native Grasses"** - exterior materials which emulate the colour range of prairie grass species. (See Appendix C)
 - **Palette Option V - "Cool Skys"** - exterior materials which emulate the colour range of seasonal prairie skys. (See Appendix C)
- 14.3.3 **The use of smooth and/or textured building materials** (e.g., concrete panels, brick, integrally coloured split-face concrete block, and pre-finished metal siding/panels) **which express the nature of the material** - i.e., the use of clear-finished concrete, steel or aluminum as a final building finish - **will also be encouraged. The material palette for building façades is to be limited in number to three - two of which will be predominant exterior materials.** All buildings shall be finished with materials manifesting durability, permanence, and quality. Materials should be stain-resistant, require little maintenance, and should retain a consistent clean appearance without streaking or differentiation due to weathering and solar degradation.
- 14.3.4 **Preferred predominant exterior materials** include high pressure laminate composite cladding, *pressed brick, integrally-coloured split-face concrete block, natural stone, architectural pre-cast panels, and pre-finished steel and aluminum panel systems with concealed fasteners.* (Exterior finishes for the panel systems shall be either Class 1 - Anodic, Fluoropolymer Coatings for sheet steel, or hot-dip galvanized metal with an epoxy resin clear coat).
- 14.3.5 Exterior fastener panel systems may be acceptable upon review and approval from the *DRC*. All materials used will embody a high degree of quality, durability, and craftsmanship.



- 14.3.6 The preferred predominant exterior material(s) must be used for a minimum of 60% of the net wall surface averaged over all of those elevations which are visible from public thoroughfares. (Net wall surface is defined as the remainder of wall area when doors and windows are excluded.) (See Fig 17).

FIG. 17



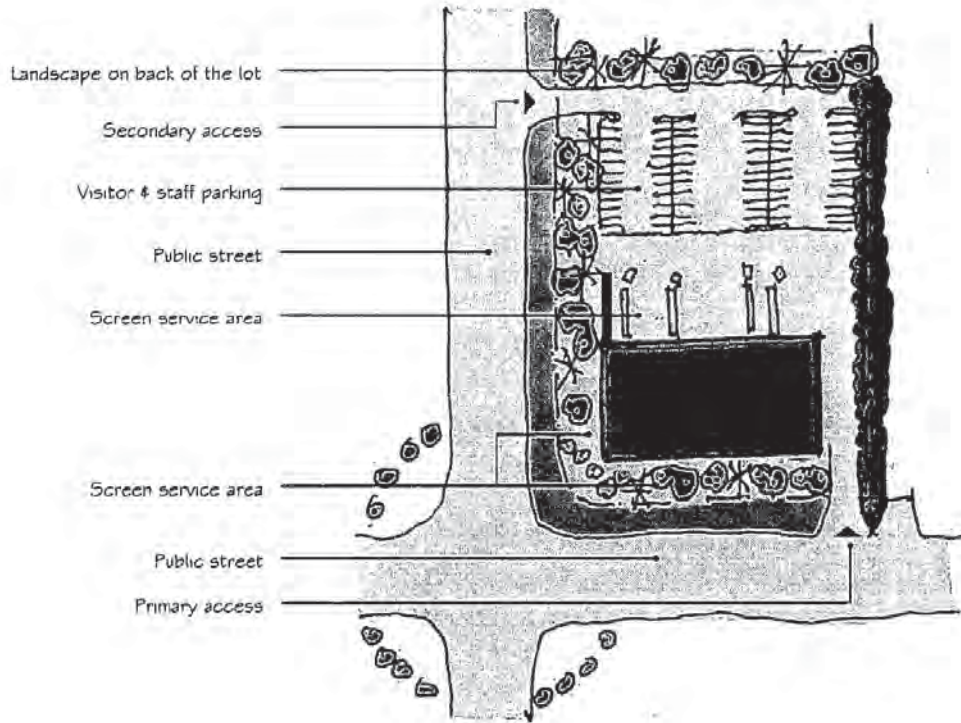
- 14.3.7 *Predominant exterior materials shall not include* textured and flashed brick with extruded joints, painted wood, vinyl siding, adhesive-applied simulated materials, or fabric.
- 14.3.8 The use of *cementitious stucco* as either a surface finish application over a substrate, or as a "lath and plaster" system, shall only be permitted if of a 'medium sand' texture, and **shall not be permitted on the principal façade.**
- 14.3.9 **Exterior Insulation and Finish Systems (EIFS) will be accepted, but preferably as only accent and trim to the predominant preferred material(s), and only if of an aesthetically designed application which is acceptable to the DRC.**
- 14.3.10 **The use of Glass will be encouraged - particularly in areas where the impact of natural daylighting would have most benefit to building occupants. Clerestorey or skylight applications which provide good daylighting - if views are not the priority - will be strongly encouraged.** (However, as glazed areas in external envelopes do not perform well from a thermal perspective, the glazing selected should be spectrally selective and have thermally-broken frames).

14.4 CORNER OR STREET EXPOSURE SITES

Buildings on corner sites or with multiple frontages onto roads shall be designed to acknowledge the building's visibility from more than one street. Such sites shall ensure a continuity of design, materials, exterior finish, signage, and landscaping, along the façades deemed "front" by virtue of street frontage, and preferably returning a logical portion along the conjoining edges. (See Fig. 18)



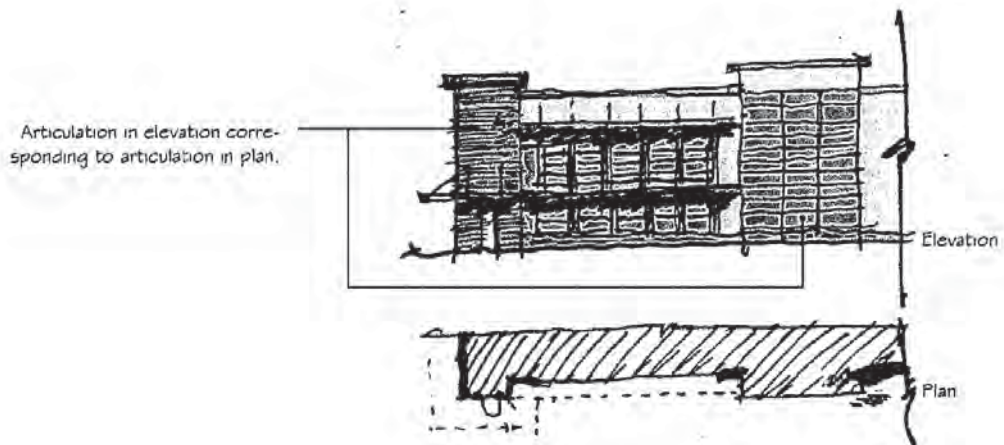
FIG. 18



14.5 ARTICULATION

Parapet height variation should not be arbitrary, and all parapet articulation should also be articulated in plan. **Architectural articulation should have the appearance of the integral, and should not appear gratuitous or extraneous.** The cost of the application of elements or colours to a building which are added only to "enliven" an otherwise apparently inadequate expression is invariably completely unrecoverable. Investing properly in good design and quality materials will as invariably have lasting value and provide real economic returns. (See Fig. 19).

FIG. 19

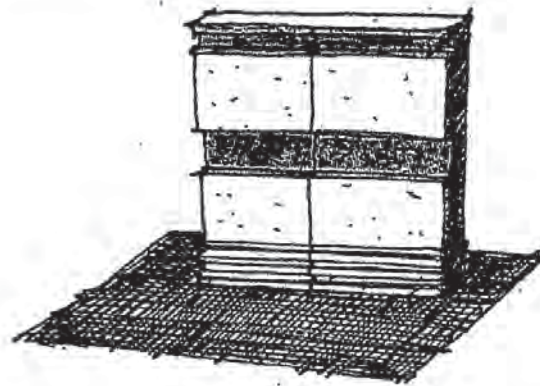


14.6 PATTERN AND RELIEF

No unrelieved flat wall planes shall exist. Patterning shall be required which is appropriate to the material expression of the wall plane. For example:

- *Pre-cast concrete panels* shall not be permitted to have a single unarticulated surface, but shall instead incorporate some relief which is integral to the concrete surface. Such **reveals shall be horizontal** (as defined in place).
- *Concrete block/brick walls* of only flat-surface blocks or bricks shall not be permitted without the relief of some module variation, plane change, texture difference, or some integrally-coloured block or brick material pattern alteration. **Patterns shall be dominantly horizontal.**
- *Acrylic stucco walls* shall have two (2) planes at minimum (with a minimum two (2) inch (50 mm) depth difference), and shall incorporate a pattern of reveals or control joints which create an aesthetically acceptable wall surface. **The emphasis shall be horizontal.**
- *Pre-finished metal siding or panels* shall have some acceptable variation to the surface or to the module, and jointing shall be emphasized. **Principal panel configuration shall be horizontal. (See Fig. 20).**

FIG. 20 ▶



14.7 COLOUR AND BRANDING

"Racing Stripe" surface painting of any kind shall not be permitted. Proponents may not express corporate logo or branding by paint colour. Constructed building form and colour shall not constitute blatant marketing advantage and exclusive "billboarding" opportunity for one proponent to the detriment of other *RVBP* proponents. (See Fig. 21).

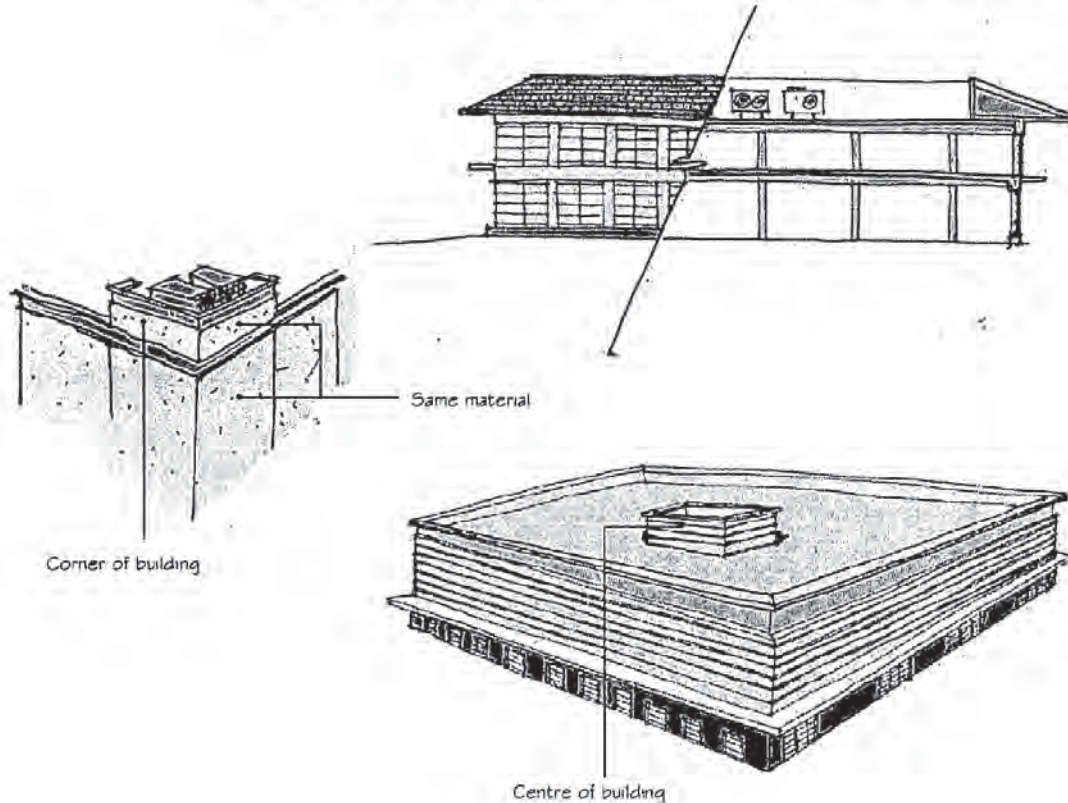
FIG. 21 ▶



14.8 ROOF-TOP SCREENING

Typically, mechanical equipment (exhaust vents, HVAC units, condenser, plumbing vents and stacks, communication equipment, electrical transmission or transformer equipment, etc.) shall be located in a manner to minimize the distraction they create from the attractiveness of the architecture, and shall be screened from public view. Such screening shall be designed as an integral part of the building. Extending parapets, constructing opaque walls, or recessing equipment within sloped roofs will be acceptable, and the provision of only paint or a cheap alternative material as screening will not be permitted. (See Fig. 22).

FIG. 22



14.9 ROOFS

If sloped roofs are desired, only pitched roofs greater than 3 in 12 and less than 6 in 12 in slope will be accepted.

Pitched roofs will only be permitted with overhangs proportionate to the scale of the building. Permitted materials for pitched roofs are prefinished metal roofing systems. *No clay or cementitious tiles, nor asphalt, or wood tiles will be allowed.* Minimally-pitched roofs typical of portal frame construction are undesirable and, if accepted, shall be disguised by end-wall parapets. See 14.11.)

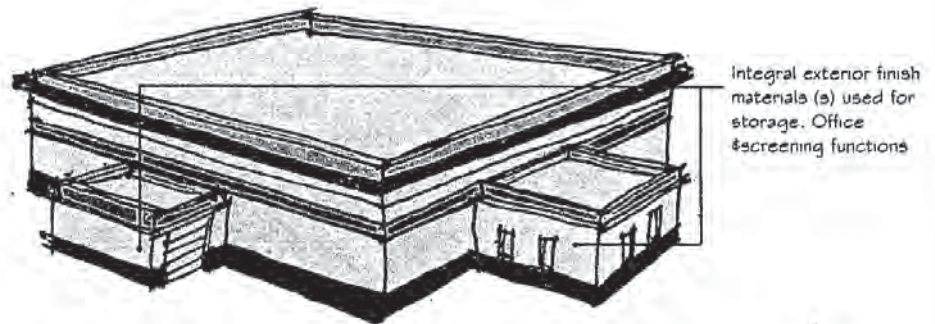
Flat roofs will be allowed with appropriate horizontal elements and/or expression.



14.10 ANCILLARY BUILDINGS

Typically, there shall be *no out-buildings*, with only the exception of those requested and approved. The intention of this requirement is that **ancillary building areas** (i.e., loading, service, (outside storage in the DC District), etc.) **shall have a character which maintains the character of the principal structure(s)**. No noticeable appendages or apparent attachments to the principal structure(s) shall be permitted with the exception of screen walls for loading docks, garbage containers, or at-grade mechanical/electrical equipment. (See Fig. 23.)

FIG. 23

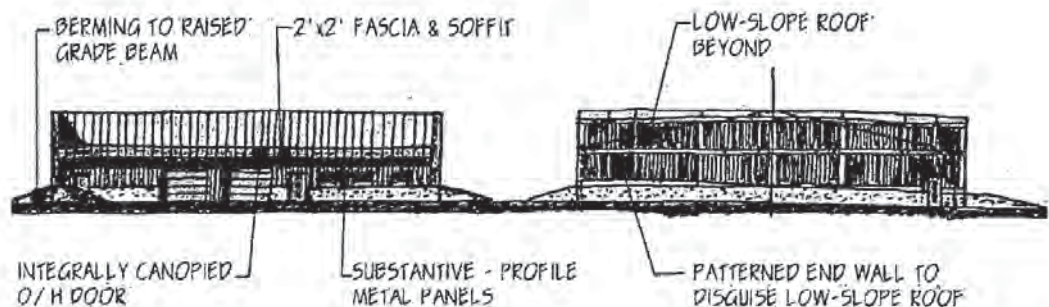


14.11 PORTAL FRAME STRUCTURES

It is understood that portal frame structures are desirable to some proponents from the point of view of their inherent economy of capital expenditure, and it is acknowledged that they are acceptable for an industrial application in the DC District only. Therefore, only the issue of their aesthetic compatibility and the inferior exterior envelope issues of this type of construction must be addressed. From a position of simply analyzing the business-case, it makes sense to construct as good an envelope as possible within the scope of a capital budget - i.e., spend money on improving the thermal envelope which allows a reduction in plant size for heating and cooling which lowers operational costs.

So, this type of structure is typically not encouraged within the RVBP, but will be accepted in the DC District with **the following requirements:** (also see Fig. 24)

FIG. 24



- **Be of two pre-finished colours minimally at some logical datum** – without one colour appearing as a stripe within the field of another colour.
- **Disguise the low-slope end walls with an extended parapet end wall.**
- **Have defined fascia and soffit detailing** – minimum 2' (0.6 m) high fascias and 2' (0.6 m) deep soffits.
- **Have overhead doors protected by canopies integral with the overall building.**
- Not employ minimal "V-groove" panels, but **use a more significant pre-finished metal siding profile.**
- **Preferably have a raised grade beam** (typically to a standard dock height) on the perimeter – principally so that the metal siding does not extend to grade, but also to permit berming up against the building to reduce the visual impact of the structure.
- **Not have undisguised or unscreened mechanical equipment on the roof.**



APPENDIX A: DESCRIPTION OF LANDS

1P2007 I-B Lots:

Plan 081 3886	
Block 1	Lots 5, 6(MR), 7 - 11
Block 2	Lots 1 - 2, 4(MR)
Block 4	Lot 3
Block 5	Lots 1 - 4
Block 6	Lots 1 - 4
Block 7	Lots 5 - 10

DC 5722007 (Site 2):

Plan 081 3886	
Block 7	Lots 1 - 4
Block 1	Lots 1 - 4



APPENDIX B: SUGGESTED OPTION LIST OF SUSTAINABLE DESIGN PRINCIPLES FOR ACHIEVING BEST PRACTICE OBJECTIVES

The currently accepted and established industry practices for sustainable building and site design should be applied to achieve sustainable objectives for development within the *RVBP*. The following represents a suggested **Option List of sustainable design strategies** which all *Proponents* may use to help enable them to incorporate as many best practice building and site design principles as possible.

It is ultimately the responsibility of each Proponent to determine to what degree these strategies are implemented, but unquestionably, there are many market-driven reasons to make each development as aligned as possible with the objectives of the items listed below in order for that project to be deemed 'sustainable development'.

1. Energy Efficiency

Use of passive heating and cooling technologies shall be encouraged:

- a. Provide climatically effective horizontal sun-shading devices on south elevations.
- b. Provide operable windows for natural cross ventilation.
- c. Provide landscaping or vertical sun shading devices to screen west elevation to reduce excessive heat gain.
- d. Increase tree ratios around paved areas by 1 tree/ 10 sq. m.
- e. Provide "white" (high albedo) membrane material for flat roofs to reduce "heat island effect."
- f. Provide a heat recovery mechanism on exhaust air.
- g. Improve the building envelope and incorporate higher LTTR-value walls and roofs (>LTTR12 Walls and >LTTR20 Roofs) to reduce energy losses.
- h. provide spectrally selective glazing (40% V.L.T. min. and L.S.G. ratio = 1.25min.) in thermally-broken frames.

2. Renewable Energy and Materials

As far as possible use renewable materials. Use of materials with low embodied energy is strongly encouraged. Use of power from renewable energy technologies on a net zero pollution basis is preferred.

3. Indoor Environment

For better indoor air quality (IAQ), use non-toxic materials. The health of occupants should be of primary consideration when selecting interior materials and finishes. Day-lighting to all work areas should be provided -including low occupancy warehouses and workshops.

4. Construction Waste

All proponents will be required to minimize construction dust, construction waste, and to re-use construction materials as far as possible. Examples of recycled materials that can have recycled components include: fly ash in concrete, gypsum board, carpet using



recycled materials, misc. steel, insulation, aluminum panels, roofing components etc. A construction waste management plan that includes measures to control Soil Erosion during construction is desirable.

5. Landscape Maintenance

Provide a Landscape maintenance program without pesticides or herbicides.

6. Recycled Water and Landscaping

Rainwater harvesting technologies are encouraged. Provide alternate storm water management strategies (like Bio-Retention Cells) which recharge ground water and supplement on-site irrigation. Limit the use of potable water for landscape irrigation by using a micro-spray or drip system to significantly reduce water consumption. Wherever possible, landscape with xeriscaping in mind - at the ground plane and at the roof plane if a 'green roof' is planned.

7. Waste Water

Treat Grey water with an on-site system for re-use rather than discharging directly to the public sewer system.

8. Noise Control and Pollution

Incorporate suitable acoustic measures to reduce noise levels emanating from site. Activities and machinery operating at high decibel levels shall be confined indoors or acoustically screened to meet acceptable levels at the boundary of the site. On-going operational self-monitoring of noise levels should be conducted.

9. Energy Efficient Lighting

Energy efficient light fixtures should be used for lighting all work areas. Occupancy sensors, or programmed light usage management should be incorporated. In general, low general illumination levels both indoors and outdoors should be implemented on site.

10. Fixture Types

Provide dual flush and/or low flow toilets and fixtures.
Provide waterless urinals .

11. Limit Use of Material Finishing

Improve indoor air quality and sustainability by limiting unnecessary material finishing on both exterior and interior surfaces.

12. On-Site Recycling

Provide for on-site recyclable-content collection and thereby reduce garbage for the landfill site. A recycling plan should be developed for the site.



APPENDIX C: COLOUR PALLETTE OPTIONS

Pantone** Colour Simulation
using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 1 



Pantone 451 PC



Pantone 452 PC



Pantone 453 PC



Pantone 4515 PC



Pantone 4525 PC



Pantone 4535 PC



Pantone 458 PC



Pantone 459 PC



Pantone 460 PC



Pantone 465 PC



Pantone 466 PC



Pantone 467 PC

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Pantone** Colour Simulation
using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 2 



Pantone 172 PC



Pantone 173 PC



Pantone 174 PC



Pantone 175 PC



Pantone Warm Red PC



Pantone 179 PC



Pantone 180 PC



Pantone 181 PC

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using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 9 



Pantone 448 PC



Pantone 449 PC



Pantone 450 PC



Pantone 4485 PC



Pantone 4495 PC



Pantone 4505 PC



Pantone 455 PC



Pantone 456 PC



Pantone 457 PC



Pantone 462 PC



Pantone 463 PC



Pantone 464 PC

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Pantone** Colour Simulation
using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 4 



Pantone 575 PC



Pantone 576 PC



Pantone 577 PC



Pantone 578 PC



Pantone 579 PC



Pantone 580 PC



Pantone 5753 PC



Pantone 5763 PC



Pantone 5773 PC



Pantone 5783 PC



Pantone 5793 PC



Pantone 5803 PC



Pantone 5757 PC



Pantone 5767 PC



Pantone 5777 PC



Pantone 5787 PC



Pantone 5797 PC



Pantone 5807 PC



Pantone 581 PC



Pantone 582 PC



Pantone 583 PC



Pantone 584 PC



Pantone 585 PC



Pantone 586 PC



Pantone 587 PC



Pantone 600 PC



Pantone 601 PC



Pantone 602 PC 

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Pantone** Colour Simulation
using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 4 



Pantone 603 PC



Pantone 604 PC



Pantone 605 PC



Pantone 606 PC



Pantone 608 PC



Pantone 609 PC



Pantone 610 PC



Pantone 611 PC



Pantone 612 PC



Pantone 613 PC



Pantone 615 PC



Pantone 616 PC



Pantone 617 PC



Pantone 618 PC



Pantone 619 PC



Pantone 620 PC

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Pantone** Colour Simulation
using the PANTONE MATCHING SYSTEM - Coated Simulation

PALETTE 5 



Pantone 5497 PC



Pantone 5507 PC



Pantone 5517 PC



Pantone 556 PC



Pantone 557 PC



Pantone 558 PC



Pantone 5565 PC



Pantone 5575 PC



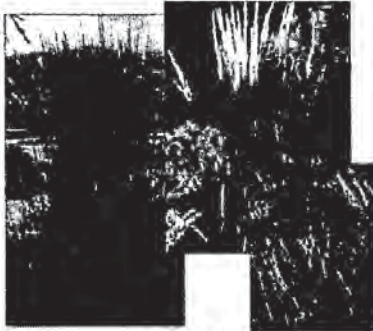
Pantone 5585 PC

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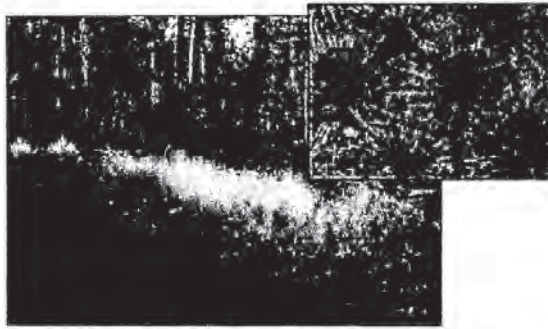


APPENDIX D: GRASS, TREE AND SHRUB SELECTION

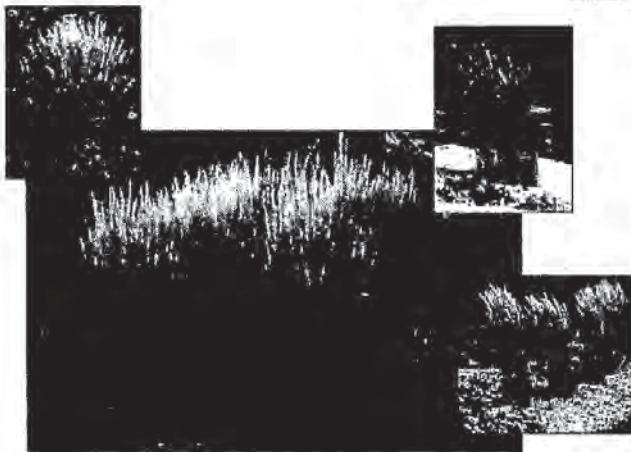
GRASS ▶



VARIEGATED REED GRASS



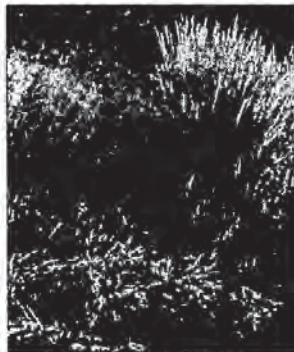
BRONZE TUFTED HAIR GRASS



FOERSTERS FEATHER REED GRASS



3 RAIL FENCE SPECIFICATION



MIXED GRASSES CONCEPT



METALLIC SWITCH GRASS



TREES ▶



AMUR MAPLE



RIVER BIRCH



PAPER BIRCH



SUTHERLAND CARAGANA



TOBA HAWTHORN



BROOKS #8 POPLAR



BYLAND GREEN POPLAR



SWEDISH COLUMNAR ASPEN



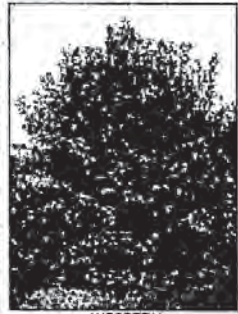
TREMBLING ASPEN



SIBERIAN LARCH



PIN CHERRY



WESTERN CHOKECHERRY



RUSSIAN MOUNTAIN ASH



COLORADO SPRUCE



WHITE SPRUCE



BRISTLECONE PINE



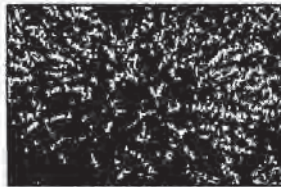
LODGEPOLE PINE



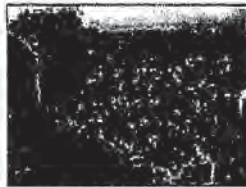
LIMBER PINE



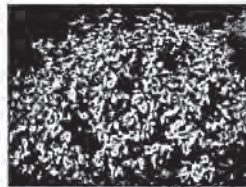
SHRUBS ▶



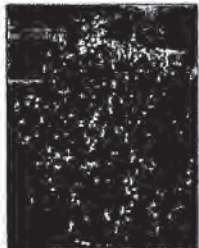
CARAGANA spp.



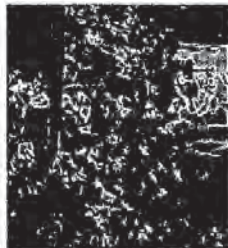
HEDGE COTONEASTER



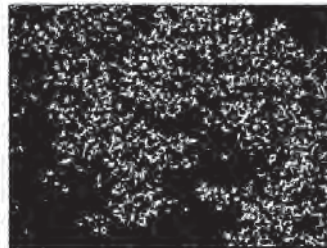
DOGWOOD spp.



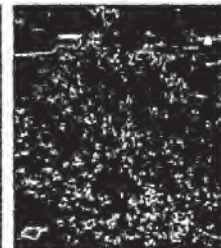
WOLF WILLOW



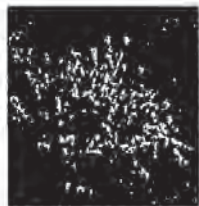
HONEYSUCKLE



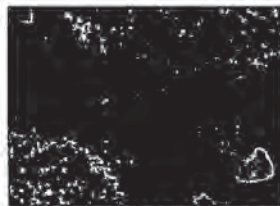
GOLDEN NINEBARK



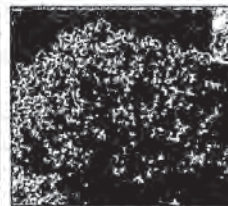
EUROPEAN DWARF CHERRY



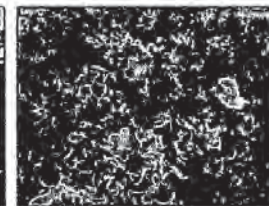
RUSSIAN ALMOND



PURPLE LEAF SANDCHERRY



ALPINE CURRANT



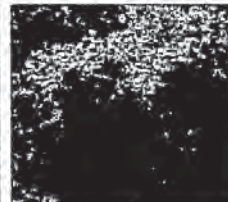
WOODS ROSE



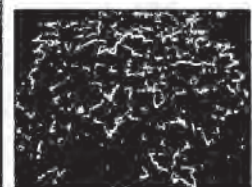
BLUE FOX WILLOW



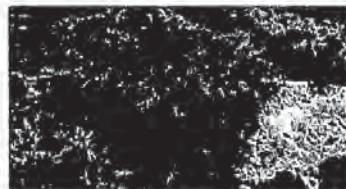
SILVER BUFFALOBERRY



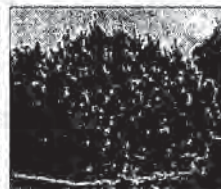
SNOWBERRY



BAILEY'S COMPACT CRANBERRY



JUNIPER spp.



MUGO PINE



APPENDIX E: BIO-RETENTION CELLS

What is 'Bio-Retention' and why incorporate it into RVBP?

The water conservation intention of RVBP is to capture rainwater and runoff in depressed landscaped areas which can then be used to naturally water the landscaping within these bio-retention areas/cells - thus eliminating the need for an irrigation system, or reducing that need to a water efficient drip or micro-spray system - and to recharge to groundwater table.

These native species landscaped areas would be self sustaining, thus reducing the overall costs associated with these areas - typically maintenance and the irrigation system. **The Vendor sees Bio-Retention as a significant site strategy towards accomplishing water conservancy goals..**

Bio-retention areas typically provide rainwater capture of impervious drainage areas (parking areas and roof areas) and provide pre-treatment of runoff stormwater by allowing the runoff water to enter an infiltration system prior to entering the storm system or percolating back into the ground.

Surface runoff is directed into a shallow landscaped depression that incorporates many of the pollutant-removal mechanisms that operate in forested ecosystems. The primary component of a *Bio-Retention Cell* is the filter bed, which has a mixture of sand, soil, and organic material which acts as the filtering media. The sand/soil bed in combination with a surface layer of mulch provides the detention/filter mechanism to remove suspended solids and nutrients.

During storm events, runoff temporarily ponds 6-12 inches above the mulch layer (reducing peak runoff rates) and then rapidly filters through the bed.

Bio-Retention is typically designed to infiltrate runoff into native soils. This can be done at sites with highly permeable soils, a low groundwater table, and a low risk of groundwater contamination. This type of design features the use of a "partial exfiltration" system that promotes greater groundwater recharge.

Bio-Retention creates a good environment for runoff control and reduction, filtration, biological uptake, and microbial activity, and provides high pollutant removal while improving water quality.

Bio-Retention can become an attractive landscaping feature with high amenity value and market acceptance.

Bio-Retention Cells tied into the design of the Storm water system can - if factored into the capture and discharge rate calculations from the outset of design - allow capital cost savings to that Storm water pipe system.

The *Bio-Retention Cells* within RVBP are intended to function with an under-drain/weeping tile de-watering system installed within a washed stone retention/recharge zone below the Bio-Retention area, and to be tied to the piped Storm water system in a cost effective manner. (Maximum design event overflow discharge piping connected to the Storm Water system, or catch basins installed for impervious surfaces could instead be located on the downstream end of bio-retention areas at the appropriate design elevation to capture the overflow water when the capacity of the retention/recharge zone is exceeded).

All front yard/setback areas identified on Map 2 (Improvement Zones A, B, & C), and all impervious parking areas (eg. the landscaping of islands/peninsulas, sideyards & rear yards) are intended to incorporate *Bio-Retention Cells*, and all Proponents are strongly encouraged to include these within their overall site stormwater management design.

Any proponents interested in Bio-Retention strategies may contact the DRC for further clarification.



BETWEEN:

THE CITY OF CALGARY, a municipal Corporation in the Province of Alberta,

(the "Grantor")

- and -

THE CITY OF CALGARY, a municipal Corporation in the Province of Alberta,

(the "Grantee")

RESTRICTIVE COVENANT AGREEMENT

City Solicitor
The City of Calgary
Law Department
12th Floor, 800 Macleod Trail S.E.
Calgary, Alberta
T2G 2M3

Solicitor: Jocelyne Caldwell
Law File: RE1629
CP File: Royal Vista

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LINC/S: 0033448557 +

